



INFORMATION BULLETIN

IB-045

Eff: 01-01-2020 Rev: 12-01-2020

Plan Submittal Guideline for One- and Two-Family Dwellings

The purpose of this Information Bulletin is to inform applicants about the type of information required on construction documents that are submitted to the City for the plan check and permitting of new, addition, or remodel of one- and two-family dwellings. One- and two-family dwellings that are 3 stories or less in height shall comply with the 2019 Edition of the California Residential Code with local Long Beach amendments contained in Title 18 of the Long Beach Municipal Code. The lists contained herein is a general guideline of the minimum documents or information required. For additional information regarding specific document submittal requirements, please visit, email or contact staff at the Development Permit Center.

The following table outlines the type of construction document and information required to:

- Construct a new dwelling (NEW)
- Construct an addition to an existing dwelling (ADD)
- Remodel or alteration of an existing dwelling (RMDL)

PLAN SUBMITTAL REQUIREMENTS FOR:		NEW	ADD	RMDL
General Cover Sheet with Site Plan , show:				
1	Project address, legal description, assessor's parcel number.	✓	✓	✓
2	Applicant's name, title, registration (if applicable), address, phone number and other contact information.	✓	✓	✓
3	Legal property owner's name, address, and phone number.	✓	✓	✓
4	Scope of work statement listing all work proposed to be permitted.	✓	✓	✓
5	Occupancy groups (e.g., R3, U), type of construction (e.g., Type VB).	✓	✓	✓
6	Gross area per floor, building height, and scale.	✓	✓	✓
7	Index of plans; vicinity map with north arrow.	✓	✓	✓
8	Applicable codes (e.g., 2019 CBC, CRC, CEC, CMC, CPC, CE _n C, and/or CalGreen).	✓	✓	✓
9	Property lines with dimensions, lot size, street(s), alley, and/or easement(s).	✓	✓	✓
10	Building footprint and roof line with all projections and dimensions to property lines.	✓	✓	
11	Fire separation distance/setback and fire rating of the proposed construction within the lot and property lines.	✓	✓	
12	Locations of utilities (e.g., sewer, water and gas lines) and/or easements on the property.	✓	✓	
13	Fire sprinklers (unless existing dwelling does not have).	✓	✓	
Grading, Drainage and/or Civil Plan(s) , show:				
14	Existing and proposed grading plans.	✓	✓	

PLAN SUBMITTAL REQUIREMENTS FOR:		NEW	ADD	RMDL
15	Finish floor, deck, and landing elevations, ground slope drainage scheme and topographic drawn to 1'-0" contours.	✓	✓	
16	Location of existing and proposed retaining walls.	✓	✓	
17	Storm water drainage away from the exterior perimeter foundation.	✓	✓	
18	Low Development Impact Standards per LBMC Chapter 18.74 for new construction or addition > 500 ft ² . http://www.longbeach.gov/lbds/planning/environmental/lid/	✓	✓	
Architectural Floor Plan(s), show:				
19	Room dimensions, sizes, uses; location of interior and exterior walls.	✓	✓	✓
20	Window schedule detailing egress, safety glazing (as required), and type of operation; locations and sizes of new/existing windows, doors; differentiate between new/existing.	✓	✓	
21	Door schedule listing size, type, and location.	✓	✓	✓
22	Provide attic and under-floor ventilation calculations, if appropriate.	✓	✓	
23	Locations and dimensions of the required attic and underfloor access openings, if appropriate.	✓	✓	
24	Locations of all new and existing smoke and carbon monoxide alarms.	✓	✓	✓
25	Distances from the center of new toilets to any sidewall, counter or other similar obstruction, 15" min for each side, 24" for front clearance.	✓	✓	✓
Architectural Roof Plan, show:				
26	Roofing material specifications and roof slopes.	✓	✓	
27	Radiant barrier roofing (Long Beach is in climate zones 6 and 8)	✓	✓	
Architectural Elevation/Section Plan(s), show:				
28	Exterior views of building.	✓	✓	
29	Locations of new windows, doors, and attic ventilation openings on exterior of building.	✓	✓	
30	Difference in elevation between the interior floor and the exterior landing or stair, including the door threshold. Provide a typical section detail through each exterior door showing the floor, threshold, landing and/or step on the exterior.	✓	✓	
31	Ceiling heights throughout building.	✓	✓	
32	Minimum finish floor elevation, if located in a flood zone.	✓	✓	
33	Height of the emergency escape and rescue windowsill above the finished floor; 44" max.	✓	✓	
34	Height of the weep screed termination above grade and paved areas.	✓	✓	
Mechanical, Plumbing and Electrical Plan(s), show:				
35	Location of HVAC equipment and size; note BTU/HR output.	✓	✓	✓
36	Locations of all ventilating equipment (in bathroom, laundry and kitchen); specify the size.	✓	✓	✓
37	Locations of plumbing fixtures, listing all required dimensions.	✓	✓	✓

PLAN SUBMITTAL REQUIREMENTS FOR:		NEW	ADD	RMDL
38	Locations and sizes of outlets, fixtures, switches, smoke detectors, subpanels and main panels.	✓	✓	✓
39	All electrical branch circuits serving 125-volt, single phase, 15 and 20 ampere receptacle outlets are required to be arc-fault circuit interrupter protected.	✓	✓	✓
40	All electrical outlets shall be tamper-resistant.	✓	✓	✓
41	All electrical outlets installed in kitchens, bathrooms, garages and exterior locations are required to be GFCI and arc-fault circuit interrupter protected. Exterior receptacle outlets are required to be installed in an approved weatherproof enclosure.	✓	✓	✓
Structural Foundation Plan(s), show:				
42	Dimensions and sizes of new continuous footings and pad footings.	✓	✓	
43	Type, size and spacing of all connectors and anchor bolts embedded into concrete or masonry.	✓	✓	
Structural Framing Plan(s), show:				
44	Types of material, locations, sizes, spans, and spaces of all new structural members (ridge, sheathing, roof, and ceilings joists, post, etc.).	✓	✓	
45	Connections of framing members to the floor, top and bottom plates, other framing members. Include the size, type, and spacing of all fasteners.	✓	✓	
46	Structural connections between addition and existing building.	✓	✓	
47	Sizes, spans, and spaces of new sheathing, girders, and floor joists for raised floor or concrete slab for slab-on-grade floor.	✓	✓	
48	Bracing to be per the prescriptive methods specified in the CRC or the CBC. If the shear walls are designed by a registered design professional, provide stamped, signed and dated engineering calculations, plans and details by professional.	✓	✓	
Construction Detail, show:				
49	Insulation materials and R-ratings for wall, roof, and floor.	✓	✓	
50	Sizes, spans, and spacing of new structural members for roof, floor, and foundation assemblies.	✓	✓	
51	All framing connection details.	✓	✓	
52	For prescriptive structural framing or foundation plan(s), provide information per Information Bulletin IB-010 for Wood Frame Prescriptive Provisions. http://www.longbeach.gov/lbds/building/inspection/ib/	✓	✓	
53	Show compliance with Title 24 Energy Efficient Standards (insulations, water heater, AC unit/heater). Provide CF1-R and Mandatory Measures.	✓	✓	✓
Required Application(s)/Document(s)/Form(s):				
54	Development Permit Application.	✓	✓	✓
55	LB School District Fee for new dwelling, addition > 500 ft ² , or ADU.	✓	✓	✓
56	LA County of Sanitation Connection Fee.	✓		

PLAN SUBMITTAL REQUIREMENTS FOR:	NEW	ADD	RMDL
57 Development Impact Fees.	✓		
58 Sewer Capacity Charge Fees.	✓	✓	
59 Soils/Geotechnical Report (if more than one-story).	✓	✓	
60 Geologic Hazard Study Report (if in a geologic hazard zone).	✓	✓	
61 Flood Elevation Certificate (if in a flood zone).	✓	✓	

FOOTNOTES:

CBC = California Building Code

CRC = California Residential Code

CEC = California Electrical Code

CPC = California Plumbing Code

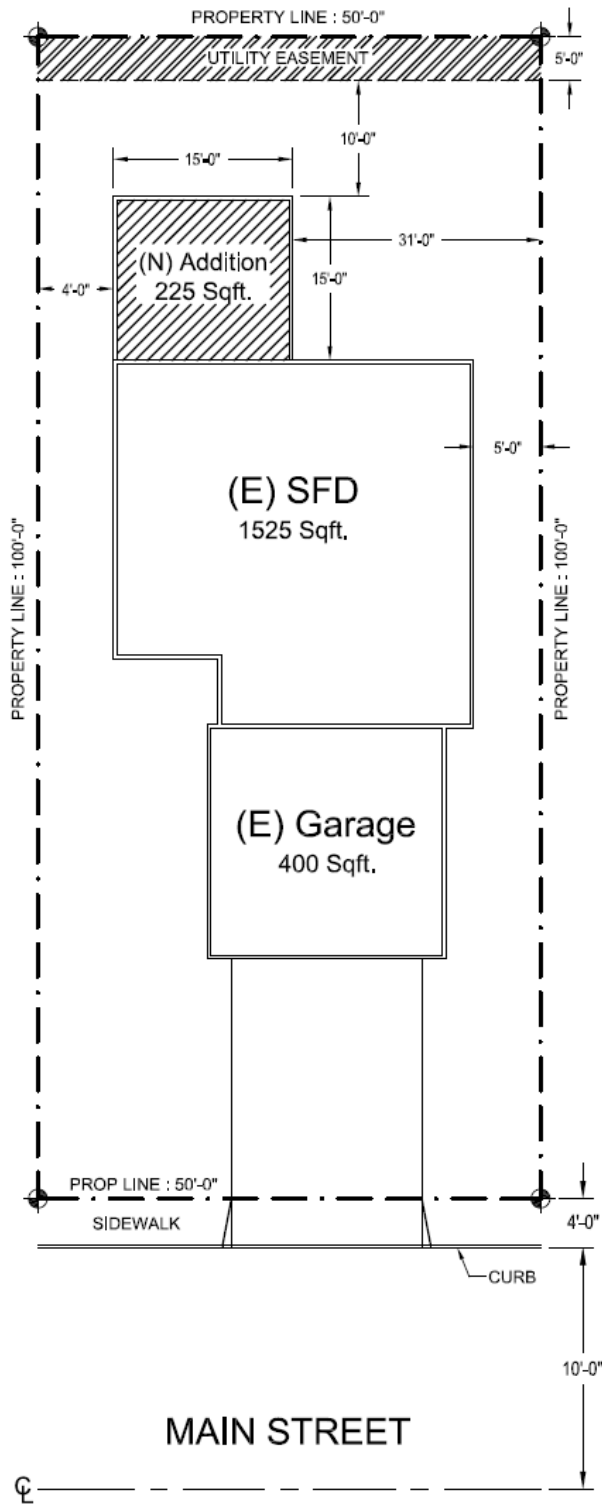
CMC = California Mechanical Code

CE_nC = California Energy Code

CalGreen = California Green Building Standards Code

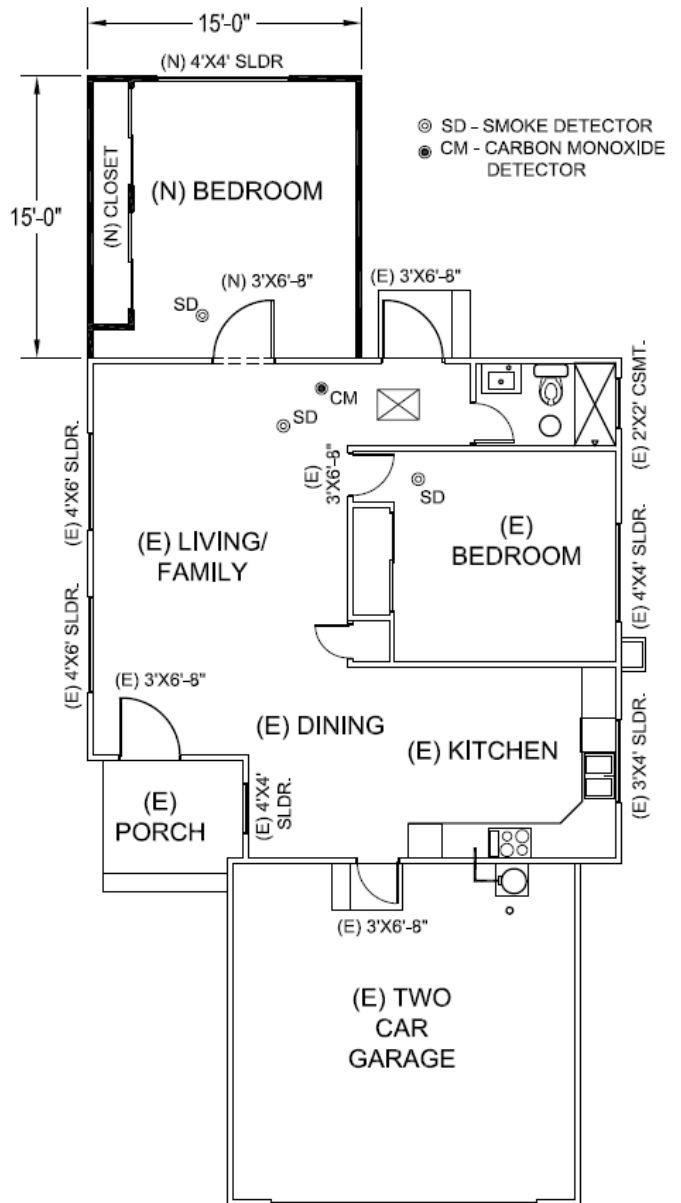
This is not a complete or comprehensive list of all documents or information required at the time of plan submittal. Additional information may be required as part of the plan check process or upon a detailed screening by staff. Review and approval from other departments, bureaus, divisions and/or agencies such as, but not limited to, the Planning Bureau, Public Works Departments, Water Department, Energy Resources Department, etc., may be required.

EXAMPLE OF REQUIRED PLANS



PLOT PLAN

SCALE 1/8 : 1'-0"



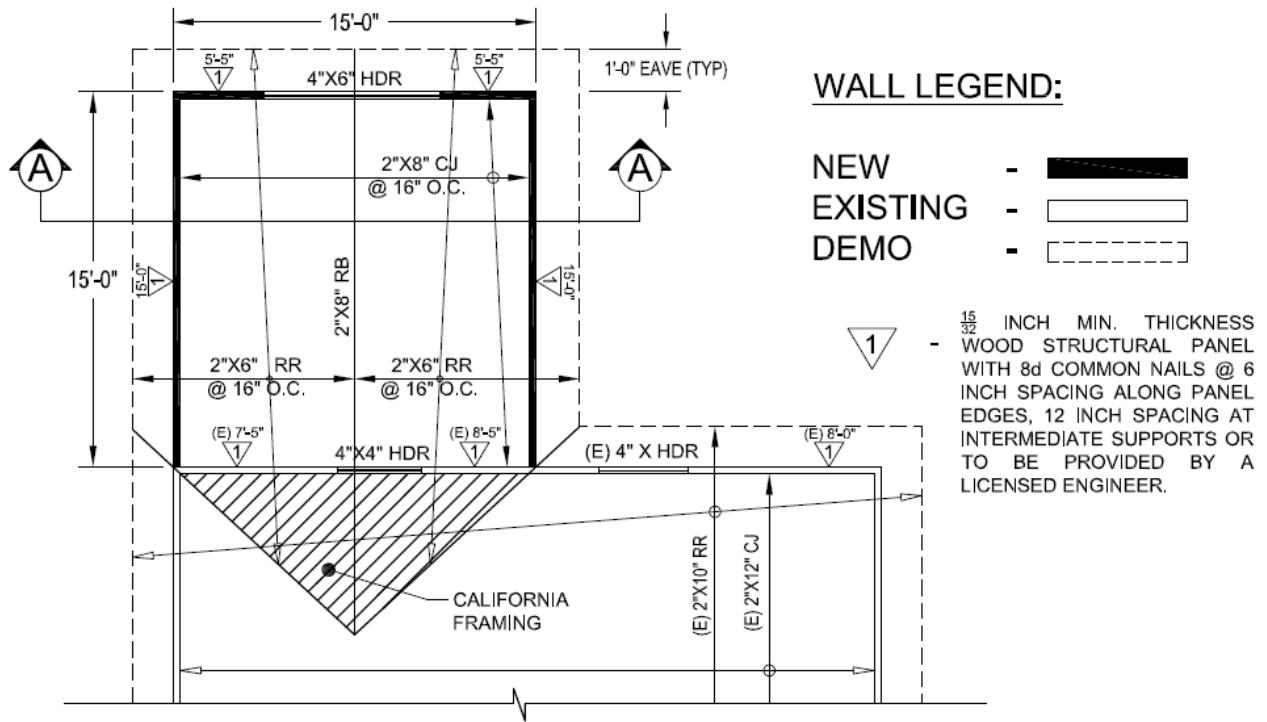
WALL LEGEND:

- NEW - [Solid black line]
- EXISTING - [Dashed line]
- DEMO - [Dotted line]



FLOOR PLAN

SCALE 1/4 : 1'-0"



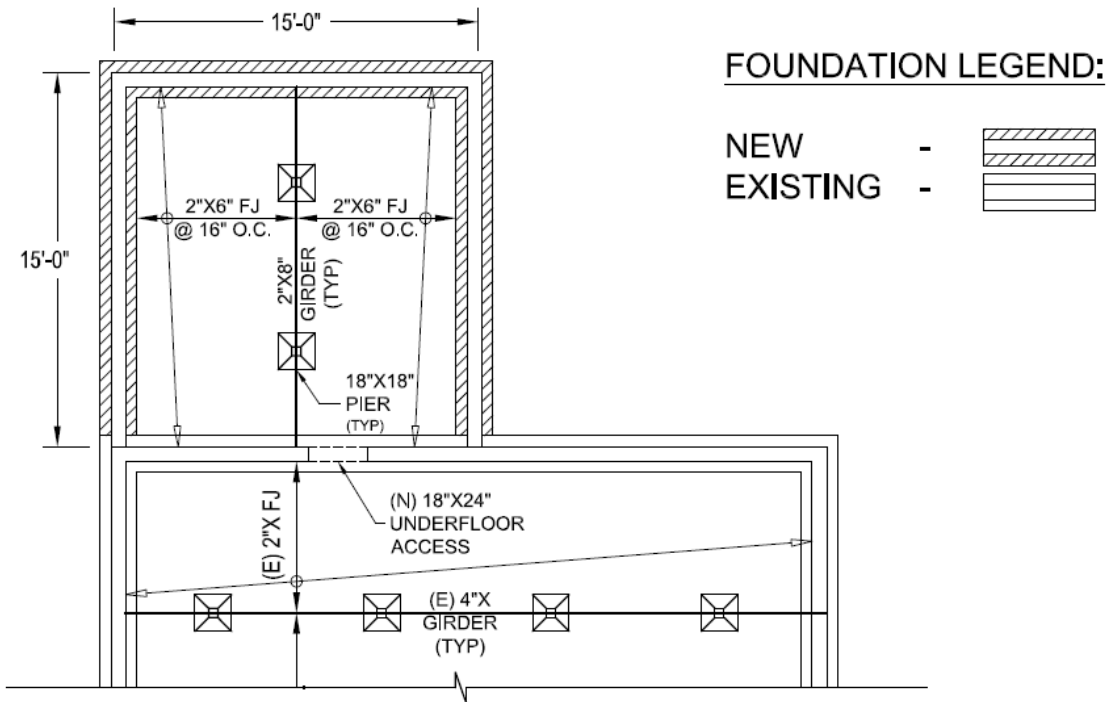
WALL LEGEND:

- NEW -
- EXISTING -
- DEMO -

- 15/32 INCH MIN. THICKNESS WOOD STRUCTURAL PANEL WITH 8d COMMON NAILS @ 6 INCH SPACING ALONG PANEL EDGES, 12 INCH SPACING AT INTERMEDIATE SUPPORTS OR TO BE PROVIDED BY A LICENSED ENGINEER.

ROOF FRAMING PLAN

SCALE 1/4 : 1'-0"

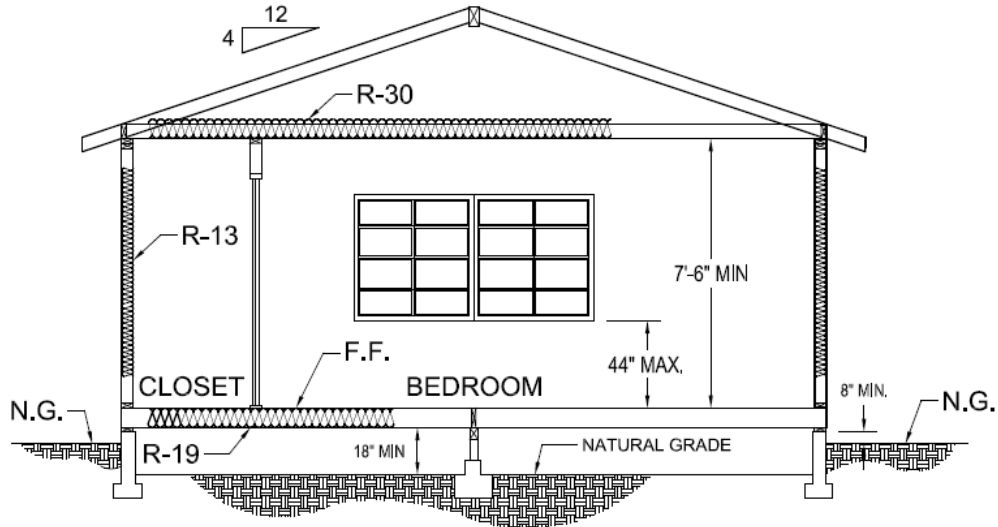


FOUNDATION LEGEND:

- NEW -
- EXISTING -

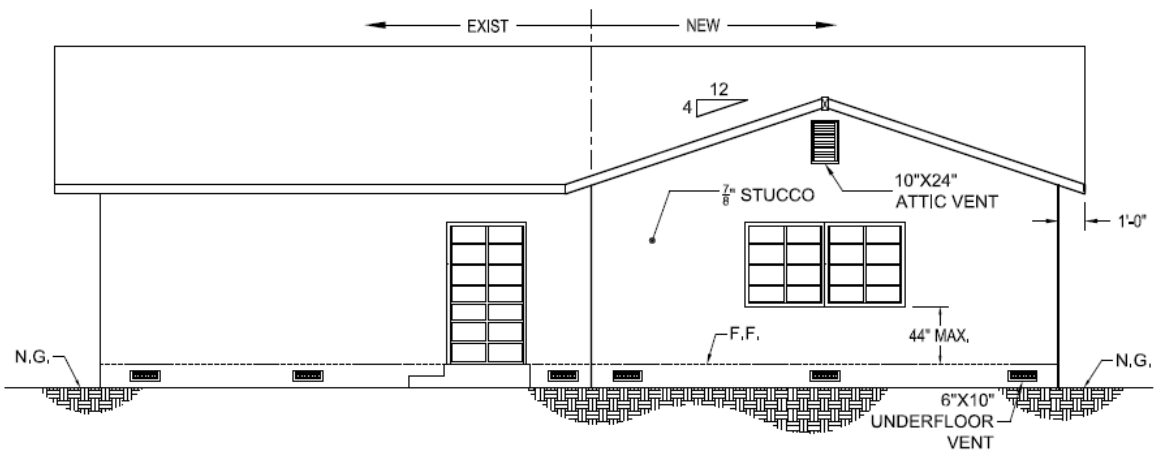
FOUNDATION PLAN

SCALE 1/4 : 1'-0"



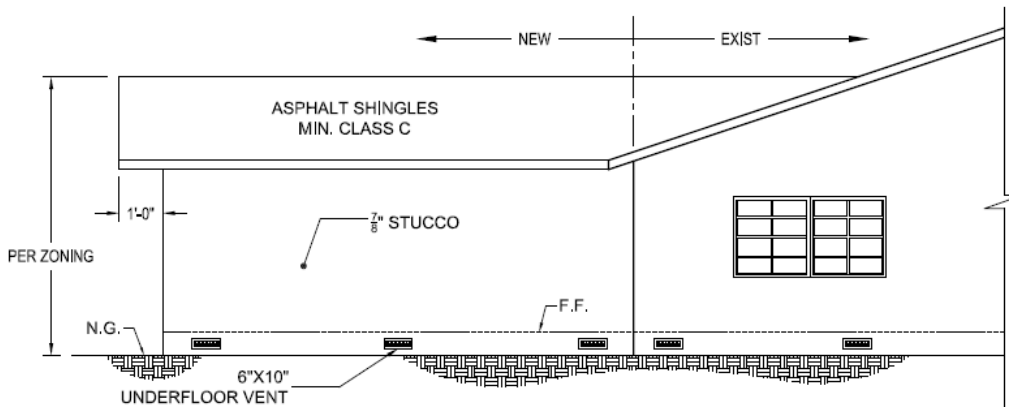
SECTION A-A

SCALE 1/4 : 1'-0"



NORTH ELEVATION

SCALE 1/4 : 1'-0"



WEST ELEVATION

SCALE 1/4 : 1'-0"

To request this information in an alternative format or to request a reasonable accommodation, please contact the Development Services Department at longbeach.gov/lbds and 562.570.3807. A minimum of three business days is requested to ensure availability; attempts will be made to accommodate requests with shorter notice.