



Zoning Administrator Hearing

Alexis Oropeza, Hearing Officer

Monday, September 25, 2023
Via Teleconference
2:00 pm

ZONING ADMINISTRATOR HEARING VIA TELECONFERENCE

The Zoning Administrator, as a non-legislative hearing body, will meet via teleconference.

Written comments may be submitted to Zoning.Administrator@longbeach.gov.

For more information on how to participate in this meeting, please visit:

www.longbeach.gov/lbds/planning/current/zoning/administrator/

REGULAR AGENDA

1. **2305-27 (AUP23-006)**

Sergio Gutierrez, Planner

965 E. Broadway

District (PD-30) Downtown Plan

Administrative Use Permit to allow the operation of a 1,131-square-foot physical therapy office in an existing commercial space within the Neighborhood Overlay in the Downtown Plan (PD-30) Zoning District.

This project **IS NOT** in the Coastal Zone and **IS NOT** appealable to the Coastal Commission.

This project qualifies for a categorical exemption per Section 15301 (Existing Facilities) of the California Environmental Quality Act Guidelines. (CE23-109)

Suggested Action: Approve, subject to conditions.

NEXT ZA HEARING

October 9, 2023

ATTACHMENTS:

- ZA ITEM 1 – 965 E. Broadway

To request this information in an alternative format or to request a reasonable accommodation, please contact the Development Services Department at longbeach.gov/lbds and 562.570.3807. A minimum of three business days is requested to ensure availability; attempts will be made to accommodate requests with shorter notice.

SITE PLAN

965 E Broadway

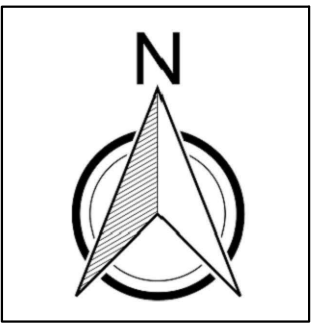
Long Beach, CA 90802

Parcel ID: 7275-002-032

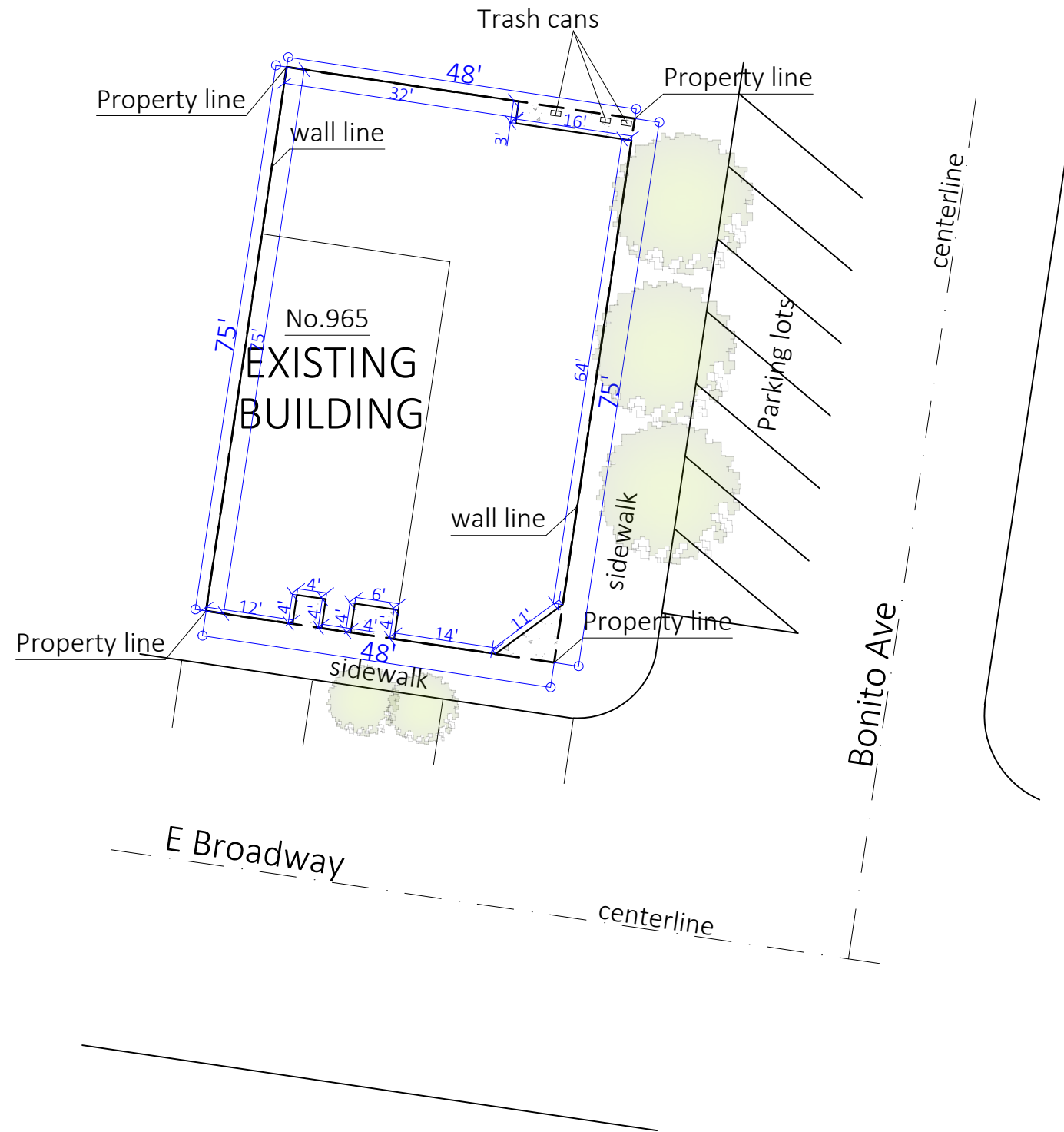
Lot area: 0.08 Acres

Paper Size: 11"x17"

ITEM 1



scale 1"=20'



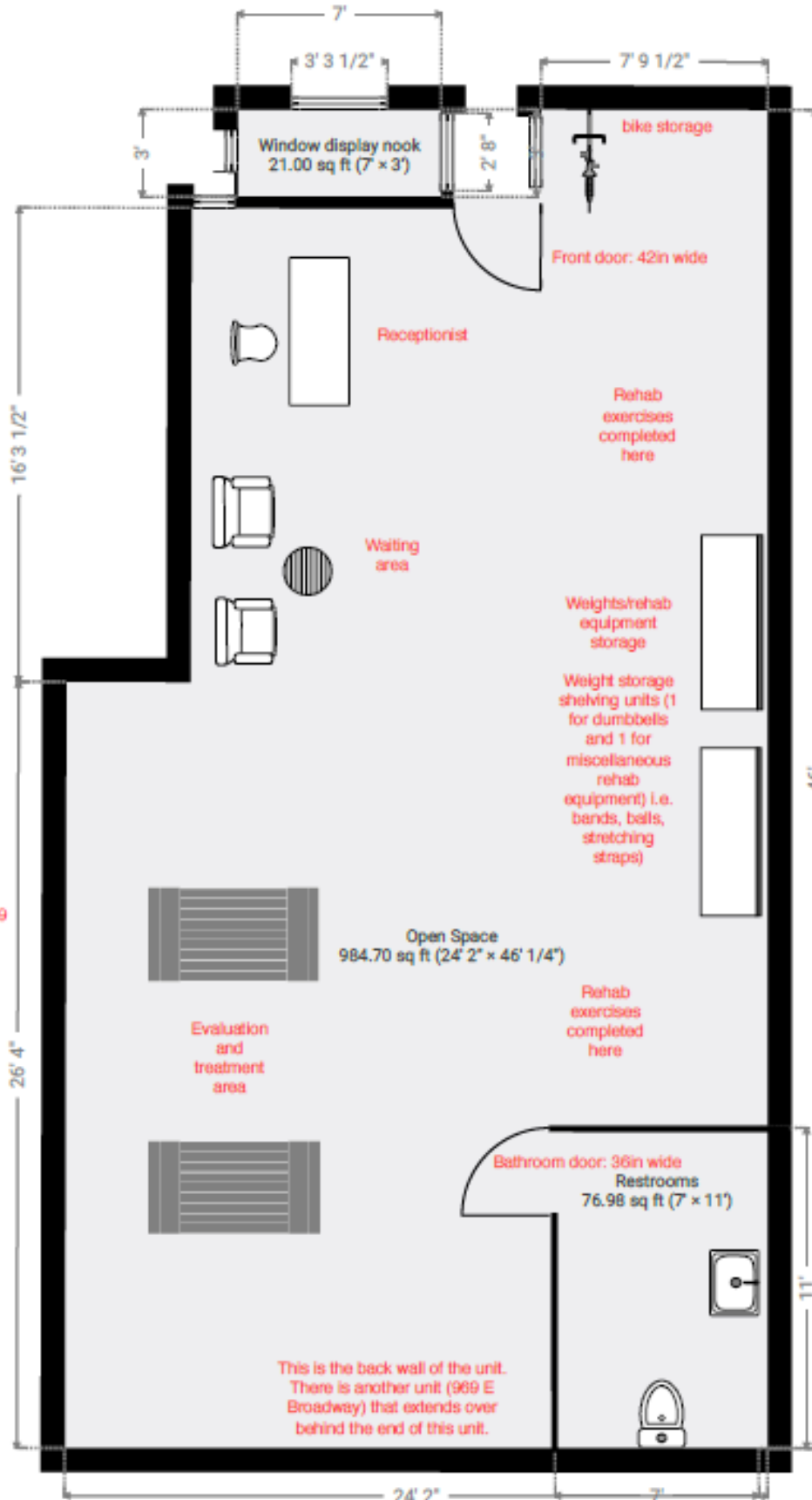
▼ Ground Floor

TOTAL AREA: 1131.60 sq ft • LIVING AREA: 1131.60 sq ft • ROOMS: 3

After assessing layout and floor plan, there will be no "break area", but breaks will be taken at the receptionist area and in waiting area when closed for lunch.

Open space is the primary office and treatment area with open floor plan concept. Open space = tenant space.

All windows are 66in tall



This is the wall connecting unit 969 and 965

This is an external wall of the building

This is the back wall of the unit. There is another unit (969 E Broadway) that extends over behind the end of this unit.

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