



Zoning Administrator Hearing

Alexis Oropeza, Hearing Officer

Monday, February 27, 2023
Via Teleconference
2:00 pm

ZONING ADMINISTRATOR HEARING VIA TELECONFERENCE PURSUANT TO EXECUTIVE ORDER AB 361 ISSUED BY GOVERNOR GAVIN NEWSOM

For information on how participate in this meeting, visit:
www.longbeach.gov/lbds/planning/current/zoning/administrator

CONSENT AGENDA

- 1 **2106-20 (LMG21-009)** **3009 Long Beach Blvd.**
Jonathan Iniesta, Planner District 7

A request to merge two lots into a single 19,350-square-foot parcel located at 3900 Long Beach Boulevard within the Midtown Specific Plan (SP-1) Zoning District (District 7)

This project **IS NOT** in the Coastal Zone and **IS NOT** appealable to the Coastal Commission.

This project qualifies for a categorical exemption per Section 15305 (Minor Alternation in Land Use Limitations) of the California Environmental Quality Guidelines.

Suggested Action: Approve, subject to conditions

REGULAR AGENDA

- 2 **2211-39 (AUP22-020; LCDP22-068)** **6511 E. Pacific Coast Highway**
Alex Muldrow, Planner District 3

A request for an Administrative Use Permit and Local Coastal Development Permit to operate a new medical (optometrist) office within an existing multi-tenant shopping center within the SP-2 Southeast Area Mixed-Use Community Core (SP-2-MCC) (District 3).

This project **IS** in the Coastal Zone and **IS NOT** appealable to the Coastal Commission.

This project qualifies for a categorical exemption per Section 15301 (Existing Facilities) of the California Environmental Quality Act Guidelines. (CE23-012).

Suggested Action: Approve, subject to conditions

3 **2211-11 (LCDP22-065)**
Maryanne Cronin, Planner

2630 E. Ocean Blvd.
District 3

A request for a Local Coastal Development Permit for the construction of one (1) new roller skate area with seating area and shade structure, one (1) additional full court basketball court, and the restriping of the existing half-court basketball court to a dedicated pickleball court at the sandy beach area north of the Junipero Beach parking lot addressed as 2630 East Ocean Boulevard in the Park (P) Zoning District. (District 3)

This project **IS** in the Coastal Zone and **IS** appealable to the Coastal Commission. A portion of the project area is in the Coastal Commission Original Permit Jurisdiction.

This project qualifies for a categorical exemption per Section 15303 (New Construction or Conversion of Small Structures) and Section 15304 (Minor Alterations to Land) of the California Environmental Quality Act Guidelines. (CE-23-013)

Suggested Action: Continue item to a date uncertain

NEXT ZA HEARING

March 13, 2023

ATTACHMENTS:

- ZA ITEM 1- 3009 Long Beach Blvd
- ZA ITEM 2 – 6511 E. Pacific Coast Highway

To request this information in an alternative format or to request a reasonable accommodation, please contact the Development Services Department at longbeach.gov/lbds and 562.570.3807. A minimum of three business days is requested to ensure availability; attempts will be made to accommodate requests with shorter notice.

EXHIBIT 'A'

LEGAL

BEING A MERGER OF LAND SITUATED IN THE CITY OF LONG BEACH, THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1: APN 7206-021-013 AND 7206-021-016

LOTS 47, 48, 49, 50, AND PORTIONS OF LOTS 51 AND 52 ALL OF BLOCK 5 OF CROWE'S VISTA DEL MAR TRACT, IN THE CITY OF LONG BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 7 PAGE 175 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF LOT SAID LOT 47, THENCE ALONG THE NORTH LINE OF SAID LOT, SOUTH 89°59'34" EAST 135.11 FEET TO THE NORTHEAST CORNER OF SAID LOT BEING THE WEST LINE OF LONG EACH BOULEVARD AS NOW ESTABLISHED; THENCE SOUTHERLY ALONG THE EAST LINE OF SAID LOTS 47, 48, 49, 50 AND 51 OF SAID BLOCK 5, ALSO BEING THE WEST LINE OF LONG BEACH BOULEVARD 90 FEET WIDE, SOUTH 00°04'06" EAST 120.04 FEET, TO A POINT ON THE EAST LINE OF LOT 51 SAID POINT BEING 30.04' NORTH ON THE SOUTHEAST CORNER OF LOT 52; THENCE SOUTH 47°06'20" WEST 38.23 FEET, TO A POINT ON A LINE BEING 4.00 FEET NORTH OF THE SOUTH LINE OF LOT 52, ALSO BEING THE NORTH LINE OF EAST SPRING STREET AS NOW ESTABLISHED 80 FEET WIDE; THENCE ALONG SAID LINE PARALLEL WITH EAST SPRING STREET NORTH 89°57'51" WEST 107.10 FEET TO A POINT ON THE WEST LINE OF LOT 52 ALSO BEING THE EAST LINE OF A PUBLIC ALLEY BEING 10 FEET WIDE; THENCE NORTH ALONG THE WEST LINE OF SAID LOTS 52, 51, 50, 49, 48 AND 47 OF BLOCK 5 NORTH 00°03'21" WEST 146.02 FEET TO THE POINT OF BEGINNING.

COMPRISING OF 0.445 ACRES



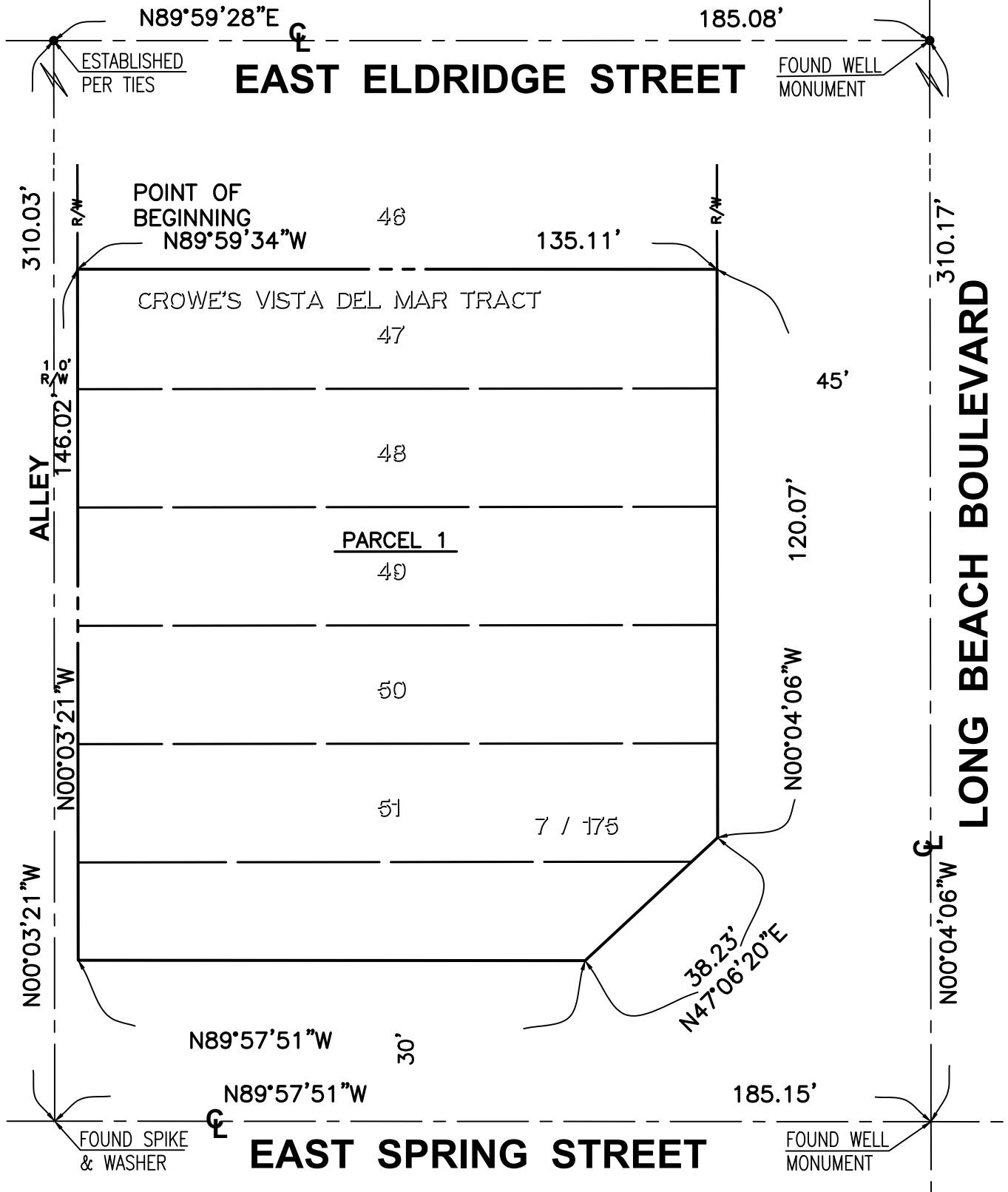

PLANS PREPARED BY:
ANACAL ENGINEERING CO.
 CIVIL ENGINEERING & LAND SURVEYING
 1211 NORTH TUSTIN AVENUE ~ ANAHEIM, CALIFORNIA 92807
 PHONE: (714) 774-1763 FAX: (714) 774-4690
 E-MAIL ADDRESS: anacal@anacalengineering.com
 WEB SITE: anacalengineering.com

BY: GAG	CK: DCQ	APPRVD: DCQ
DATE: 6/16/22	SCALE: NONE	JOB NO. 22-085
LOCATION: 3009 & 3015 LONG BEACH BOULEVARD LONG BEACH, CALIFORNIA		SHEET NO. 1 OF 1

SCALE: 1" = 30'

EXHIBIT 'B'

BOUNDARY PLAT



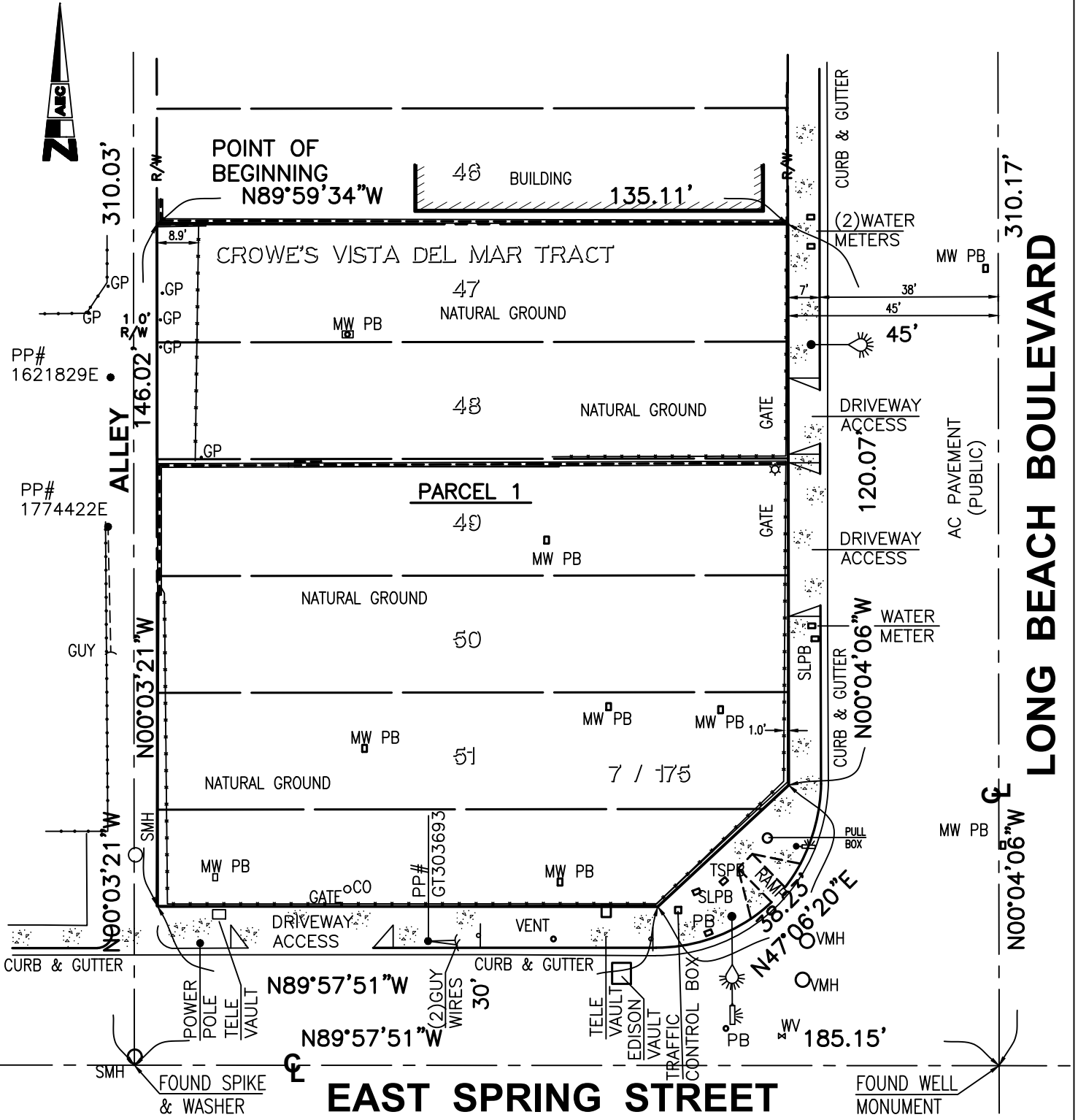
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LOCATION: 3009 & 3015 LONG BEACH BOULEVARD LONG BEACH, CALIFORNIA		SHEET NO. 1 OF 1

EXHIBIT 'C'

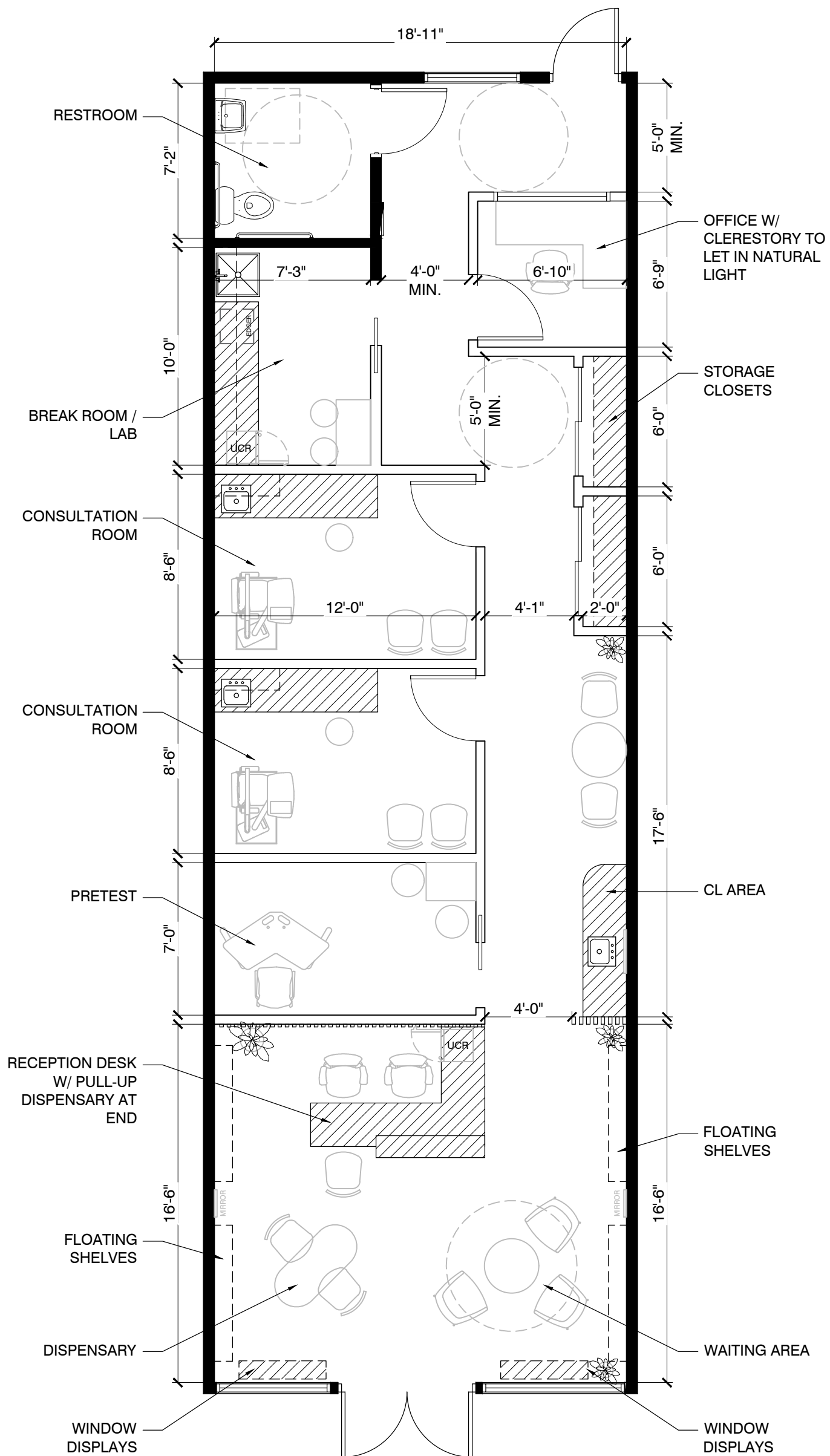
SITE PLAT

SCALE: 1" = 30'



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-APPROX 1,129 USF SHOWN
 TENANT TO CONFIRM EXACT DEMISING WALL LOCATIONS
 -FRAMES DISPLAYED WITH FLOATING SHELVING: **APPROX. 415+**
 ***BASED ON FLOATING SHELF DISPLAYS**

DR. CHRISTINE TRUONG - LONG BEACH, CA

DRAWING: TESTFIT OPTION 01
 LOCATION: LONG BEACH, CA
 DATE: 11.15.2022
 BY: SLG

KARINAK STUDIO
 SCALE: NTS





SITE PLAN

DR. CHRISTINE TRUONG, O.D.
 TENANT IMPROVEMENT
 6511 E. PACIFIC COAST HWY., SUITE G-2B
 LONG BEACH, CA 90803

NTS



NORTH