



Zoning Administrator Hearing

Maryanne Cronin, Hearing Officer

Monday, March 9, 2026
Via Teleconference
2:00 pm

ZONING ADMINISTRATOR HEARING VIA TELECONFERENCE

The Zoning Administrator, as a non-legislative hearing body, will meet via teleconference. Written comments may be submitted to Zoning.Administrator@longbeach.gov.

For more information on how to participate in this meeting, please visit:
<https://www.longbeach.gov/lbcd/planning/current/administrator/>

HEARING ITEMS

REGULAR ITEM

1. **2509-19 (AUP25-014)**
Gopi Shah, Project Planner

420 Grand Avenue
Council District 3

Administrative Use Permit request to change an existing nonconforming use (office use) to another nonconforming use (fitness facility), pursuant to Section 21.27.070 of the Zoning Regulations, within a nonconforming commercial building located at 420 Grand Avenue in the R-3-T (Multi-Family Residential, Townhouse) Zoning District. The proposed facility would include a fitness facility with a sauna, pre-packaged food, and employee offices. (District 3)

This project **IS NOT** in the Coastal Zone and **IS NOT** appealable to the Coastal Commission.

This project qualifies for a categorical exemption per Section 15301 (Existing Facilities) of the California Environmental Quality Act Guidelines. (CE-26-008)

Suggested Action: Approve, subject to conditions.

ATTACHMENTS:

- ZA Item 1 – 420 Grand Avenue

City of Long Beach
Zoning Administrator Hearing Reminder
March 9, 2026
Page 2 of 2

NEXT ZONING ADMINISTRATOR HEARING

March 23, 2026

To request this information in an alternative format or to request a reasonable accommodation, please contact the Community Development Department at www.longbeach.gov/lbcd and (562) 570-3807. A minimum of three business days is requested to ensure availability; attempts will be made to accommodate requests with shorter notice.

GENERAL NOTES

I) Builder, Contractor and Subcontractor warrant that they are personally knowledgeable regarding the plans and specifications, California Residential Code requirements, manufacturer recommendations, and industry standards applicable to their work and that their work be performed to the highest applicable standards. Builder, Contractor and Subcontractor further warrant that any concerns regarding the requirements of the plans and specifications, and any inconsistency or conflicts with Code, manufacturer, or industry standards have been resolved prior to the fabrication of the work.

ii) The Builder shall take full and final responsibility for constructing a final product of appropriate quality and serviceability consistent with the information and requirements contained in the Construction Documents or reasonably inferable therefrom, and/or contained in the requirements of any governmental entity with jurisdiction over the Project; and in this regard the Builder shall take full responsibility for all construction means, methods, techniques, sequences or procedures including without limitation demolition, excavation and erection procedures; for safety precautions and programs in connection with the Project; and for the timeliness or quality of all of the work performed pursuant to this agreement. In this regard, the Builder shall indemnify to the fullest extent allowed by law the Projects design team, and their respective officers, directors, principals and employees, of and from any and all claims, liability and/or losses which are caused or contributed to by the failure of the Builder to honor these obligations, including even liability claims and/or losses involving any indemnities actual or alleged active negligence or design defects, and excluding only any indemnities sole negligence or willful misconduct.

iii) Any subcontractor which agrees to construct the project pursuant to these plans fully assumes the risk of all errors and omissions which should have been detected by a careful review by a knowledgeable licensed contractor, that which for any reason were not resolved during the bidding or negotiation process. Further, the Builder shall carefully review these plans as the work progresses in order to identify any significant errors and omissions and to ascertain all necessary information before proceeding with the affected work, and assumes the risk of any and all loss, including delay, which may be caused or contributed to by the failure to ascertain correct or necessary information in a timely manner.

1 Intent

a. The intent of these drawings is to provide a complete and finished job in all respects. Contractor is to make accurate field inspections of all aspects of the job, verify all dimensions and site conditions prior to starting work, and notify the architect of any discrepancies or required information that does not appear in the contract documents. Additional information will be provided by the architect as requested by the contractor in specific areas, but any such provision shall in no way relieve the contractor of his responsibility to provide the building described in the contract documents.

b. These plans are intended for use by only knowledgeable licensed contractors familiar with all applicable building codes and other governmental requirements, and able and willing to provide workmanship and materials of high quality. They shall be interpreted so as to incorporate all applicable building codes and other governmental requirements. All ambiguities and doubts shall be resolved, unless the Architect specifies otherwise in writing, in favor of the construction or material of the highest quality.

2 Contract Documents

AIA Document A201 "General Conditions of the Contract for Construction" (recommended), or substitute contract as provided by the owner or contractor.

3 Document Conflicts, Errors and Omissions

These documents are known to contain conflicts, errors and omissions. Professionals knowledgeable of construction and the documentation of proposed work have prepared these documents. These documents have been prepared in conformance with the best standards of practice of this industry. Every effort has been made to create these documents free of error or omission, however no guarantee is made or implied that the documents are free of such errors or omissions. This shall in no way relieve the contractor of his responsibility to provide the building described in the contract documents. It is the owner's and the contractor's responsibility to notify the architect in writing of any perceived errors or omissions in the construction documents prior to commencement of construction.

4 Access

The owner reserves the right to enter upon the site and into the building, and to occupy portions of the building prior to the date of substantial completion, provided same does not interfere with the work under the contract. Exercise of this right shall in no way be deemed to be acceptance by the owner of the work.

5 Changes in the Work

The owner reserves the right, without invalidating the contract, to order extra work or make changes by altering, adding to or deducting from the work, with the contract sum being adjusted accordingly. Any addition, deletion or change in scope of work shall be by written change order only.

6 Separate Contracts

The owner expressly reserves the right to let other contracts and to employ other contractors in connection with this project. In addition, the owner reserves the right to furnish various materials, fixtures and equipment to be installed by the contractor in connection with this project.

7 Code Compliance

All work, construction and materials shall comply with all provisions of the current edition of all Building, Zoning, Mechanical, Plumbing, Electrical, Accessibility and Fire Safety Codes in effect and with all other rules, regulations and ordinances governing the place of the building. Code requirements take precedence over the drawings, and it shall be the responsibility of anyone supplying labor or materials or both to install or perform his work in conformance with the aforementioned codes, and to bring to the attention of the architect any discrepancies or conflicts between the drawings and the provisions of the code prior to construction.

8 Conflicts in Laws

Where any conflict occurs between the requirements of federal, state or local laws, codes ordinances, rules or regulations, the most stringent shall govern.

9 Permits

a. The Owner shall pay for the plan check and building permit fees; contractor shall pay for all other permits and fees.

b. Obtain any necessary permit from the State of California Division of Industrial Safety prior to the issuance of grading permits or for trenches greater than 5 feet in depth into which a person is required to descend.

10 Demolition Permits and Procedures

Contractor shall secure necessary demolition permits prior to the excavation of the work and shall take full responsibility for any and all shoring, cribbing, scaffolding and any and all other temporary supporting devices required for the excavation of this work.

11 Notices

Contractor shall make necessary arrangements with the governing power, phone, cable, sewer, water, storm drain, gas and all other municipal, state, county and utility agencies for on-site service interruption, location of new and existing to be relocated utilities, temporary services, realignments of surface meters, vaults and plates or any aspect of the project requiring similar liaison and coordination. All utility equipment, meters, panels, overhead lines and exposed piping shall be located precisely as shown on the drawings. When not shown, coordinate location with the architect prior to commencing work. No extras will be allowed for relocating incorrectly positioned visible equipment, meters, panels, wiring, piping and the like.

12 Safety

Contractor shall be responsible for initiating, maintaining and supervising all safety and security precaution programs in connection with the work.

13 Existing Conditions

Contractor shall verify all conditions and measurements at the job site. Discrepancies in the drawings or between the drawings and actual field conditions shall be reported to the architect prior to commencing with the work. The architect prior to the execution of the work shall issue corrections or instructions. By submitting a bid for the work the contractor verifies that he and appropriate subcontractors have familiarized themselves with actual site conditions visible from the exterior or interior of the premises, or from accessible attic and under floor areas. Bids shall take into consideration all such conditions and limitation, whether or not the same are specifically shown or mentioned in the contract documents, and bids submitted shall be construed as including sums necessary to complete the work in every part shown, described or reasonably required or implied. No extras will be allowed for rectifying conditions visible at the time of Bidding.

14 Verification of Conditions

Prior to installation of any product, contractor shall inspect existing conditions to receive materials to be installed and arrange for correction of defects in the existing workmanship, material or conditions that may adversely affect work to be installed. Installation of materials shall constitute acceptance of existing conditions as being in proper condition to receive the materials to be applied and waiver of claim that existing conditions are defective as pertains to warrantee requirements.

15 Temporary Facilities

Contractor shall provide and pay for temporary telephone, sanitary, water, fencing, security and other services as required to complete the work for the duration of the Project.

16 Materials and Workmanship

All materials and equipment furnished under this contract shall be new and free from faults and defects. Engage fully licensed and insured mechanics and specialists in their trade for first class workmanship throughout all visible areas of the project.

17 Quality Control and Inspections

a. Materials to be furnished under the contract are subject to test and inspection for compliance with contract documents.

b. Tests shall be performed under the supervision of California licensed professional engineer(s).

c. Contractor shall schedule, initiate and coordinate tests and inspections required by the contract documents and public authorities having jurisdiction over the work.

d. Costs of testing: Contractor shall arrange and pay for materials qualifications and conformance tests, concrete and masonry mix designs and other tests and inspections to be performed at the jobsite, unless otherwise specified. Test samples shall be provided to the owner at no cost.

e. Compliance: The owner may request that materials be tested. If materials are found to be in compliance with the contract documents then the owner will pay for the tests, if the materials are not found in compliance, then the costs of tests shall be paid by the contractor or deducted from payments due to him. The contractor shall reimburse the Owner all or any part, as the owner may deem proper, of the test and inspections costs incurred by the Owner due to the following:

1. Retesting costs caused by failure of materials to pass initial tests.
2. Covering of work before the required inspections or tests are performed.
3. Additional inspections required for Contractor's correction of defective work.

18 Submittals

Shop drawings, samples, catalogue cuts, project data, performance charts, instruction manuals, brochures and other information shall be submitted to the architect and / or owner when requested. No portion of such work or such materials shall be commenced or ordered until the architect and owner have approved the submittal. Prior to submission to the architect, the contractor shall check all shop drawings and other such data for quantity, size and dimensions. Architect will answer questions raised and will make determinations regarding quality of material and equipment, design and arrangement decisions and color selections, but will not be responsible for quantity, size or dimensional errors. Submit three copies of submittals requested, one to be retained by the architect.

19 Substitutions

No substitutions shall be made without the Architect's and Owner's written authorization. Any request or substitution shall be made in advance to avoid any delay to the project schedule. In making request for a substitution, the contractor acknowledges that he has reviewed the requested substitution and has determined and guarantees that the substituted item shall provide for equivalent performance as the original specified item. Contractor shall assume all responsibility for costs related to installation of substituted items, and shall be responsible for the coordination of the substituted item with all other aspects of the project that they may impact including costs of adjustments required in other work.

20 Guarantee

The contractor shall guarantee all aspects of his work against defects in material and workmanship for a period of one year from the date of completion of the project. This is in addition to any other equipment and material warranties and guarantees in effect.

21 Purchasing Schedule

All materials, equipment or trades requiring lead-time or ordering shall be scheduled by contractor to allow for the timely execution of the work. NO changes or extras will be granted for material ordered with insufficient time for their proper construction and implementation. Contractor shall notify the architect within 7 days of signing the contract for construction of any problems in obtaining the materials and finishes specified.

22 Construction Schedule

Contractor shall submit to the architect and owner within three weeks of signing the contract for construction a week-by-week schedule for the project as it is outlined at that time. Substantial revisions in the schedule shall be reported to the architect during the course of construction.

23 Responsibility for Damage

Contractor shall be responsible for all damages done to existing work during construction, and shall repair and refinish such damages to former condition at no expense to the owner. Contractor shall protect work and adjacent non-work areas from weather, equipment, dust and debris, and shall be responsible for maintaining the premises in a clean and safe condition at all times.

24 Superintendent

Contractor shall employ a competent superintendent in attendance at the project site at all times during the progress of the work.

25 Dimensions, Notes and Conflicts in the Drawings

a. Unless noted otherwise in the drawings, all FRAMING PLAN dimensions are to the face of the STUD of the dimensioned assembly. FLOOR PLAN dimensions are to the finished face of the assembly. It is the Contractor's responsibility to allow for the finish materials when positioning wall, floor and roof framing as required to yield the visible lines and planes described in the drawings.

- b. In the case of conflicting information within the contract documents:
1. Larger scale drawings shall have precedence over smaller scale drawings.
 2. Notes in the specifications shall have precedence over smaller scale drawings.
 3. Notes in the drawings shall have precedence over notes in the specifications.
 4. Dimensions in the drawings shall have precedence over scaled dimensions.
 5. No definite dimensions shall be obtained by scaling these plans.

26 Site and Soils Report

a. A soils report and or site survey shall be paid for and provided by the owner if required.

27 Product Handling, Storage and Protection

a. Deliver material to the project site or place of fabrication in 'manufacturer's original containers' with seals unbroken and labels intact until incorporated into the work. Materials shall clearly bear the manufacturer's name and trademark and UL or FM label when applicable.

b. Protect materials from damage when moving and storing on site or in the building. Provide durable protection as required to protect materials from damage from weather or damage from contact.

c. Store materials and equipment in strict accordance with manufacturer's written instructions.

d. Remove damaged or otherwise unsuitable material and equipment promptly from the site and replace with satisfactory material at no additional cost to the Owner.

28 Installation: General Requirements

a. Use experienced installers and tradesmen.

b. Install materials and systems in accordance with their manufacturer's printed instructions and approved submittals in proper relation with adjacent construction and with uniform appearance.

c. Install assemblies complete with all hardware, anchors, inserts, supports and accessories. Attach securely to supports. Test and adjust operation.

d. Clean and protect work from damage.

29 Cleaning

Keep work and adjacent areas free from accumulations of waste, debris and rubbish caused by construction operations. Do not allow opened containers of combustible materials to remain in the building overnight. At completion of work, remove all waste materials, rubbish, tools, equipment, machinery and surplus materials and clean all exposed surfaces. Leave project clean and ready for occupancy. Repair, patch and touch-up marred surfaces to specified finish as original.

ABBREVIATIONS

ABV	Above
AFF	Above Finished Floor
ALUM	Aluminum
ANOD	Anodized
AS	Acoustical Sealant
B/O	Bottom of
BLK	Blocking
BLW	Below
BYND	Beyond
C/C	Center to Center
CJ	Control Joint
CL	Center Line
CLAD	Cladding
CLNG	Ceiling
CLR	Clear
COL	Column
CONC	Concrete
CONST	Construction
CONT	Continuous
CONTR	Contractor
CORR	Corridor
CPT	Carpet
CT	Ceramic Tile
DIAM	Diameter
DIM	Dimension
DN	Down
DTL	Detail
DWG	Drawing
E	Existing
EA	Each
EQ	Equal
ETR	Existing To Remain
F / O	Full Overlay
FF	Finished Floor
FLR	Floor
GA	Gauge
GALV	Galvanized
GC	General Contractor
GL	Glass
GR	Granite
GWB	Gypsum Wall Board
HR	Hour
HRZNTL	Horizontal
HT	Height
INFO	Information
INSUL	Insulation
INT	Interior
LAM	Laminated
LAV	Lavatory
LP	Low Point
MAX	Maximum
MECH	Mechanical
MFR	Manufacturer
MIN	Minimum
MISC	Miscellaneous
MP	Metal Panel
MTL	Metal
N	New
NIC	Not in Contract
NOM	Nominal
NTS	Not to Scale
OC	On Center
OPNG	Opening
OTB	Opent to Below / Beyond
PLAM	Plastic Laminat
PLBG	Plumbing
PLWD	Plywood
PREFAB	Prefabricated
PTD	Painted
RD	Roof Drain
REINF	Reinforced
REQD	Required
REV	Revision
RO	Rough Opening
SBO	Supplied By Owner
SIM	Similar
SPEC	Specification
SQ	Square
SS	Stainless Steel
STD	Standard
STL	Steel
STR	Stair
STRUC	Structural
T/O	Top of
TB/P	To Be Provided By
TBB	To Be Removed
TME	To match existing
TYP	Typical
UNO	Unless Noted Otherwise
VIF	Verify in Field
VRTCL	Vertical
WD	Wood
WPR	Waterproofing
WVNR	Wood Veneer
Ø	Diameter

LEGAL INFORMATION

A.P.N.	7255-016-014
TRACT, BLOCK, LOT	EASTERN TRACT N 58 FT OF LOTS 22,23 AND LOT 24
LOT AREA	8,700SF

SCOPE OF WORK

CHANGE OF USE FROM MIXED USE OFFICES AND APARTMENT UNITS TO FITNESS CONSULTATION OFFICES AND CLASSROOMS/TRAINING ROOMS

BUILDING SUMMARY

ZONING DISTRICT R-3-T
CONSTRUCTION TYPE V-B
OCCUPANCY GROUP(S): (EXISTING) B, R2
OCCUPANCY GROUP(S): (NEW) B, A3
MIXED OCCUPANCY: YES
USE(S): FITNESS CONSULTATION OFFICES AND CLASSROOMS/TRAINING ROOMS
FIRE SPRINKLERS: YES (EXISTING)
FIRE SPRINKLER MONITORING: YES (EXISTING)
FIRE ALARM: YES (EXISTING)
ALLOWABLE NUMBER OF STORIES 2
EXISTING NUMBER OF STORIES 2
ALLOWABLE BUILDING HEIGHT 40'
EXISTING BUILDING HEIGHT ± 20'
ALLOWABLE BUILDING AREA 9,000 SF
TOTAL BUILDING AREA 7,156 SF
NUMBER OR EXITS REQUIRED 2
NUMBER OR EXITS PROVIDED 5
ALLOWABLE MAX. COMMON PATH OF TRAVEL: 75' OR 100' IF SPRINKLERED

EXISTING PARKING PROVIDED (PROPERTY IS IN A PARKING EXEMPT AREA)

STANDARD STALLS 4 PS
COMPACT STALLS 2 PS
ACCESSIBLE STALLS 0 PS
TOTAL PARKING 6 PS

6 EXISTING BICYCLE PS
4 NEW BICYCLE PS
TOTAL 10 BICYCLE PS

DRAWING INDEX

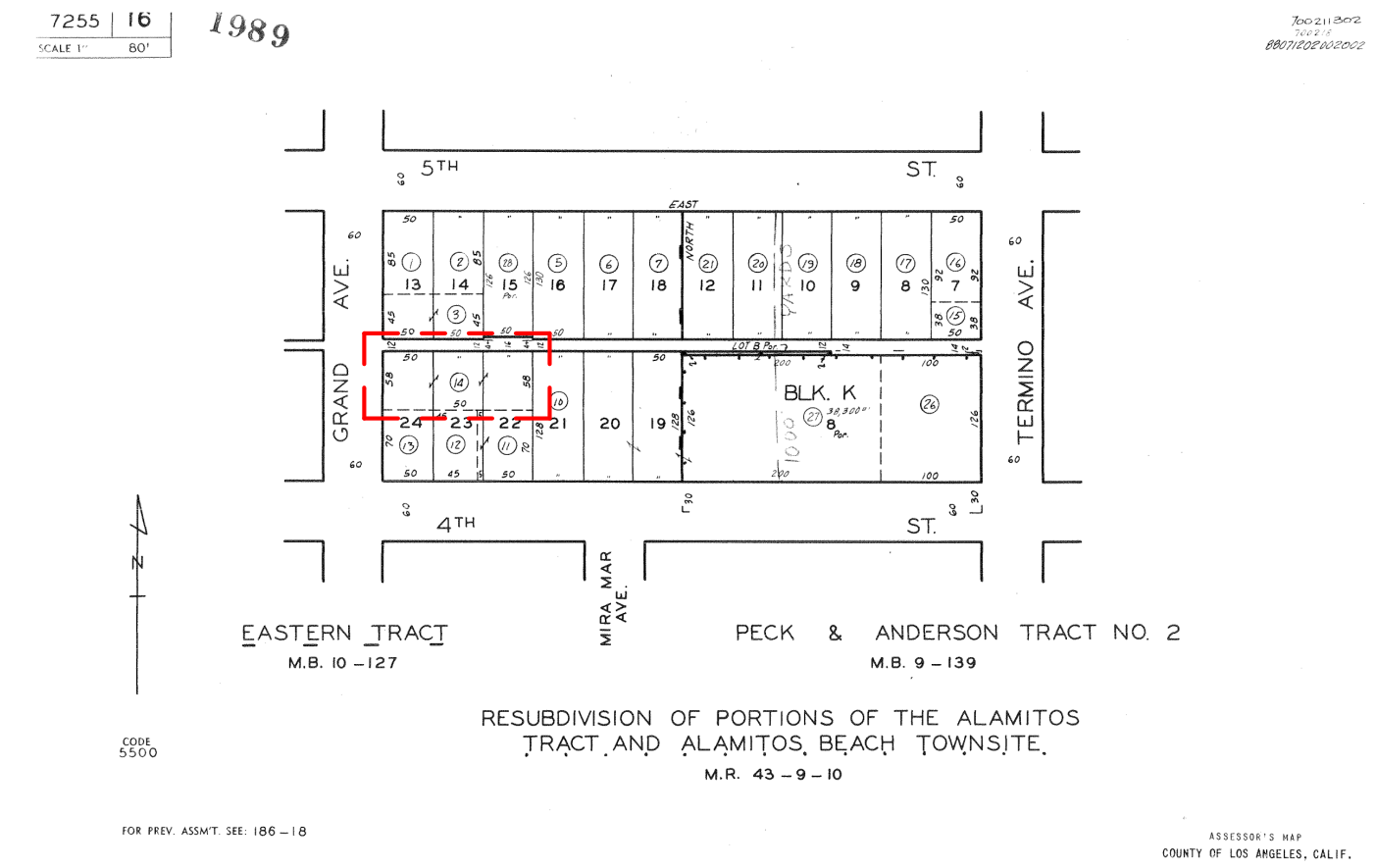
G100	PROJECT INFO / GENERAL NOTES
A100	SITE PLAN
A101	FLOOR PLAN EX
A102	FLOOR PLAN DEMO
A103	FLOOR PLAN NEW
A104	ROOF PLAN EX
A200	ELEVATIONS / SECTIONS
A600	SCHEDULES
A800	EX SITE IMAGES

APPLICABLE CODES

ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS AND DRAWINGS, AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS OF ALL GOVERNING BODIES

CODES

LOCAL MUNICIPAL / ZONING CODES
2025 Part 1 Cal Administrative Code (CAC)
2025 Part 2 Cal Building Code (CBC)
2025 Part 2.5 Cal Residential Code (CRC)
2025 Part 3 Cal Electrical Code (CEC)
2025 Part 4 Cal Mechanical Code (CMC)
2025 Part 5 Cal Plumbing Code (CPC)
2025 Part 6 Cal Energy Code (CEEC)
2025 Part 7 (Currently Vacant)
2025 Part 8 Cal Historical Building Code (CHBC)
2025 Part 9 Cal Fire Code (CFC)
2025 Part 10 Cal Existing Building Code (CEBC)
2025 Part 11 Cal Green Bldg Standards Code (CGBSC)
2025 Part 12 Cal Reference Standards Code (CRSC)
TITLE 18 LONG BEACH MUNICIPAL CODE.



1) PARCEL MAP N.T.S.



2) VICINITY MAP N.T.S.

ATSTUDIO

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OWNER

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420 Grand, Long Beach, 90814

ENGINEER

N/A

SURVEYOR

N/A

GENERAL CONTRACTOR

LIC#

LEGEND

(E) TO REMAIN

(E) DEMO / TO BE REMOVED (TBR)

(N) CONSTRUCTION

(E) NOT IN CONTRACT (NIC)

NO.	ISSUE	DATE
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DRAWN BY

SCOTT DAVIS

CHECKED BY

JANE DAVIS

PROJECT

420 GRAND

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STAMPS / APPROVALS

SHEET TITLE

PROJECT INFO / GENERAL NOTES

SHEET NUMBER

G100

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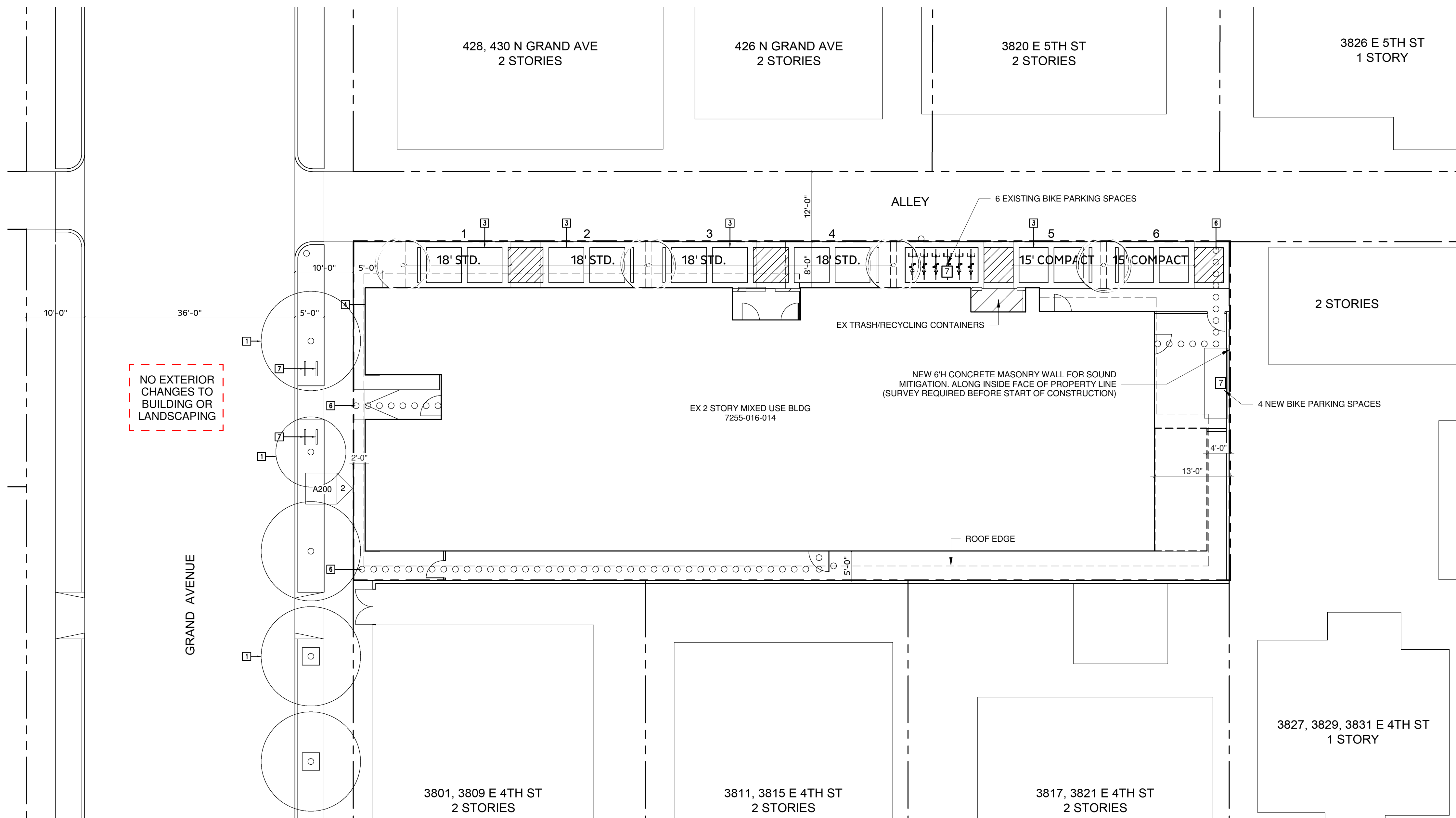
STAMPS / APPROVALS

SHEET TITLE

SITE PLAN

SHEET NUMBER

A100



SITE PLAN KEYNOTES

- 1 EXISTING TREE PRESERVED
- 2
- 3 PLANTER
- 4 EXISTING WALL-MOUNTED FIRE HYDRANT
- 5 EXISTING FREE-STANDING FIRE HYDRANT
- 6 PATH OF EGRESS
- 7 BIKE RACK

1 SITE PLAN EX
 3/32" = 1'-0"

KEYNOTE LEGEND
 KN # NOTES APPLY TO ALL RELEVANT INSTANCES IN THE SCOPE OF WORK

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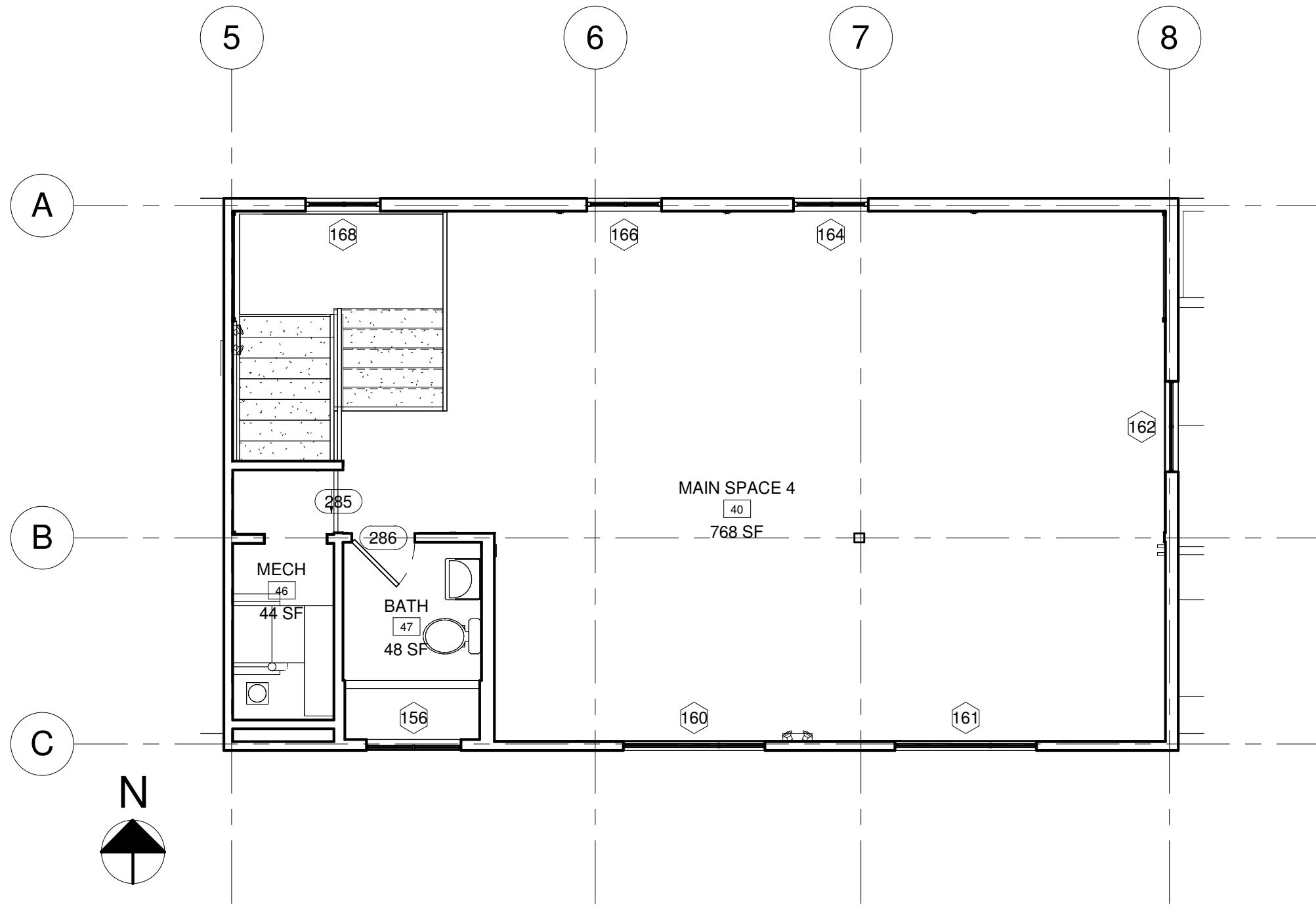
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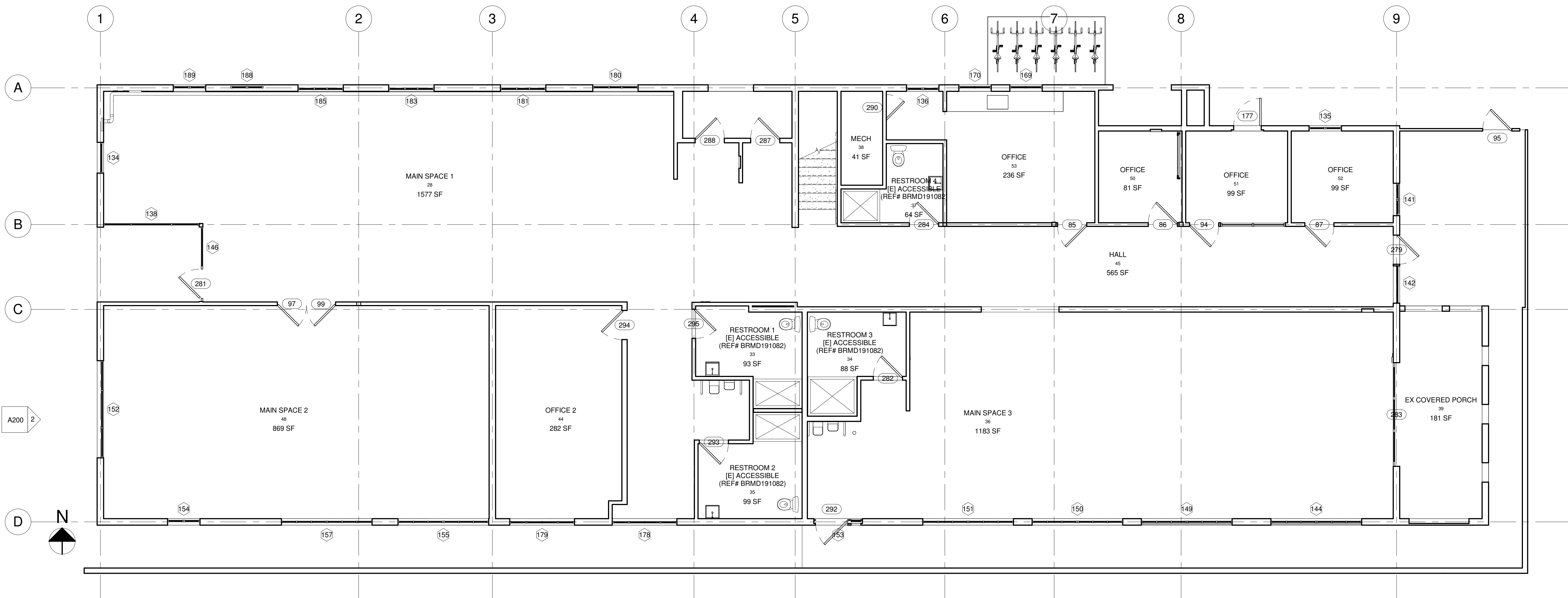
SHEET TITLE
FLOOR PLAN EX

SHEET NUMBER
A101

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2 SECOND FLOOR PLAN EX
 3/16" = 1'-0"



1 FIRST FLOOR PLAN EX
 3/16" = 1'-0"

KEYNOTE LEGEND
 KN # NOTES APPLY TO ALL RELEVANT INSTANCES IN THE SCOPE OF WORK

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 420 GRAND

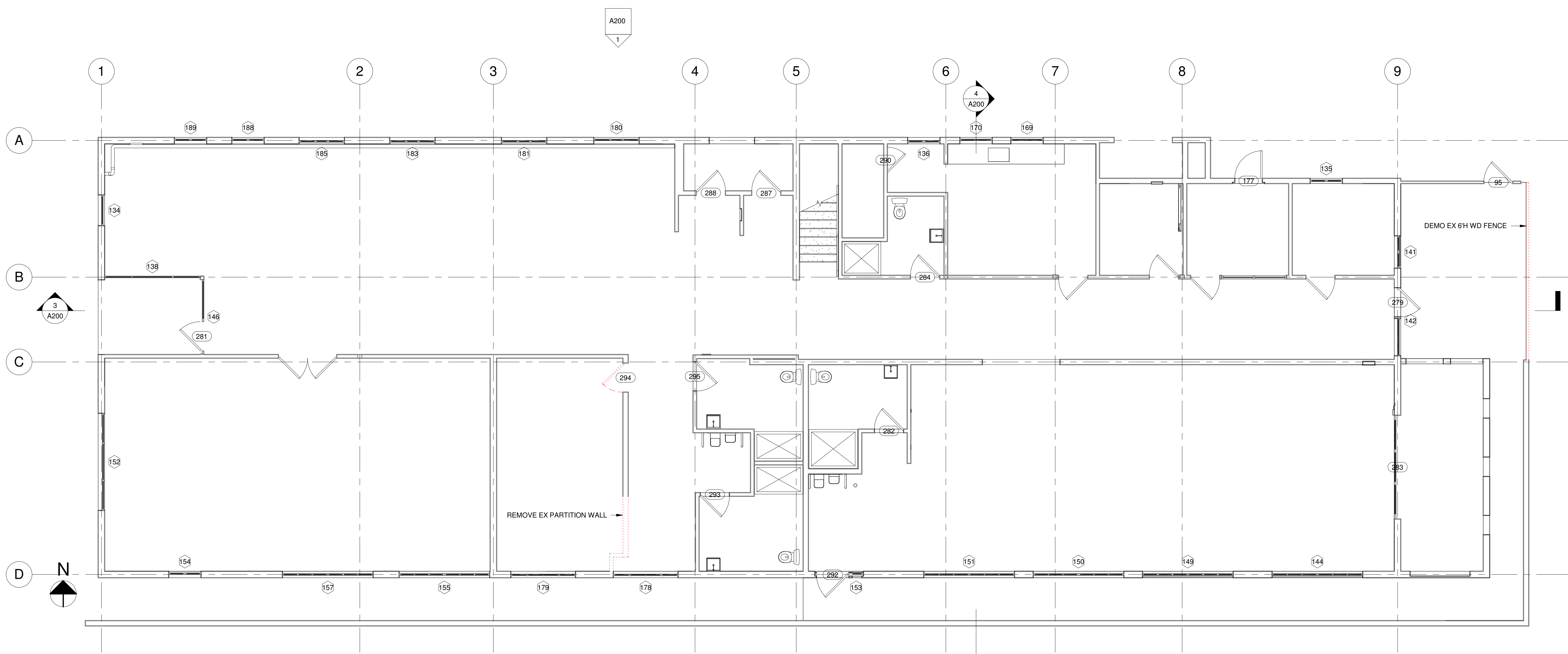
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STAMPS / APPROVALS

SHEET TITLE
FLOOR PLAN DEMO

SHEET NUMBER
A102

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1 FIRST FLOOR PLAN DEMO
 3/16" = 1'-0"

LED EXIT DIRECTION

EXIT SIGN/EMERGENCY LIGHT

SMOKE DETECTOR

SMOKE/CO2 DETECTOR

EXHAUST FAN MIN. 50CFM ENERGY STAR CERTIFIED

KEYNOTE TAG

DOOR TAG

WINDOW TAG

ROOM TAG

WALL TAG

ELEVATION TARGET

SECTION TARGET

FLOOR ELEVATION

AREA OF DETAIL

PROPERTY LINE

OPEN TO BELOW

ANNOTATION LEGEND
N.T.S.

MEP LEGEND
1/4" = 1'-0"

ELECTRICAL PANEL

FOUR WAY SWITCH

THREE WAY SWITCH

SINGLE SWITCH

DOUBLE SWITCH

DUPLEX OUTLET

DUPLEX GFCI/AFCI OUTLET

DUPLEX GFCI OUTDOOR

DUPLEX GFCI OUTDOOR

ETHERNET OUTLET

PHONE OR COAX OUTLET

THERMOSTAT

RECESSED 4"-6" HIGH EFFICACY LED

PENDANT

WALL SCONCE

SPOT LIGHT

EXT WALL MOUNT DOWNLIGHT

PARKING LOT LED DOWNLIGHT

BATH FAN (SYMBOL FOR RCP)

RETURN REGISTER

SUPPLY REGISTER

OUTDOOR HVAC UNIT

EMERGENCY LIGHT

- LED EXIT DIRECTION

Illumination emergency power shall automatically illuminate:

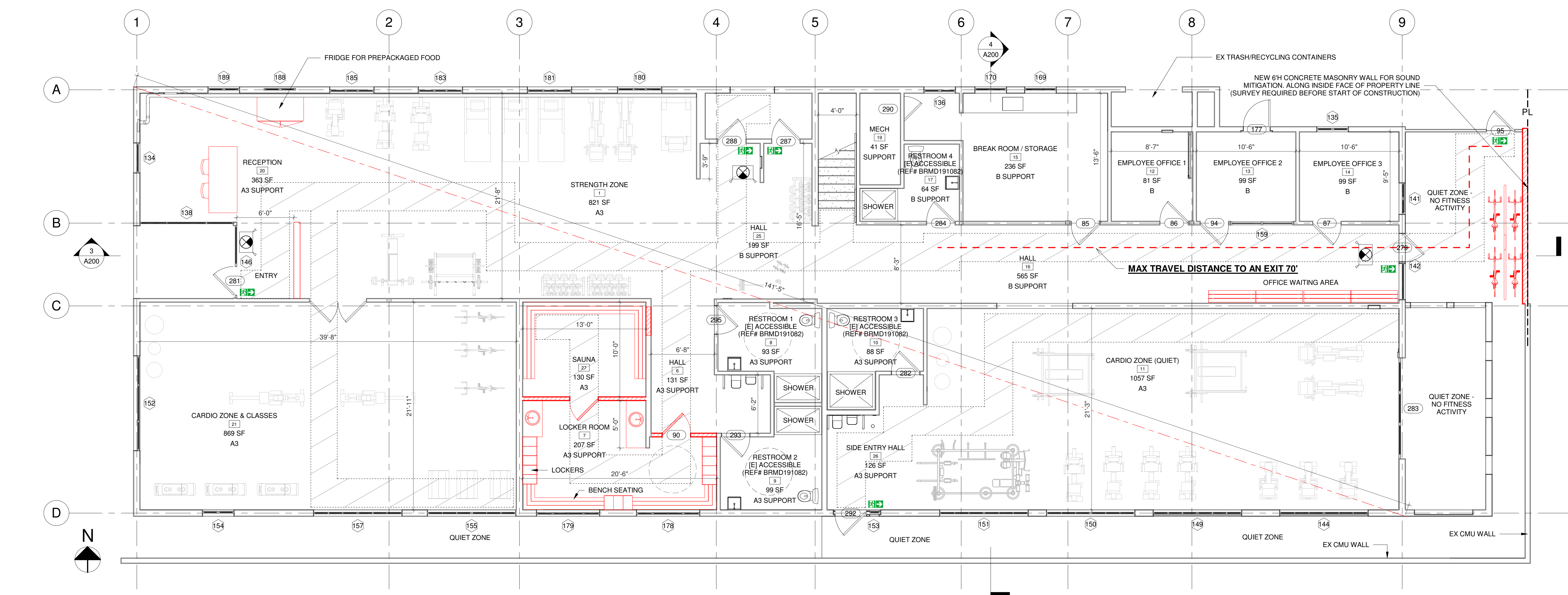
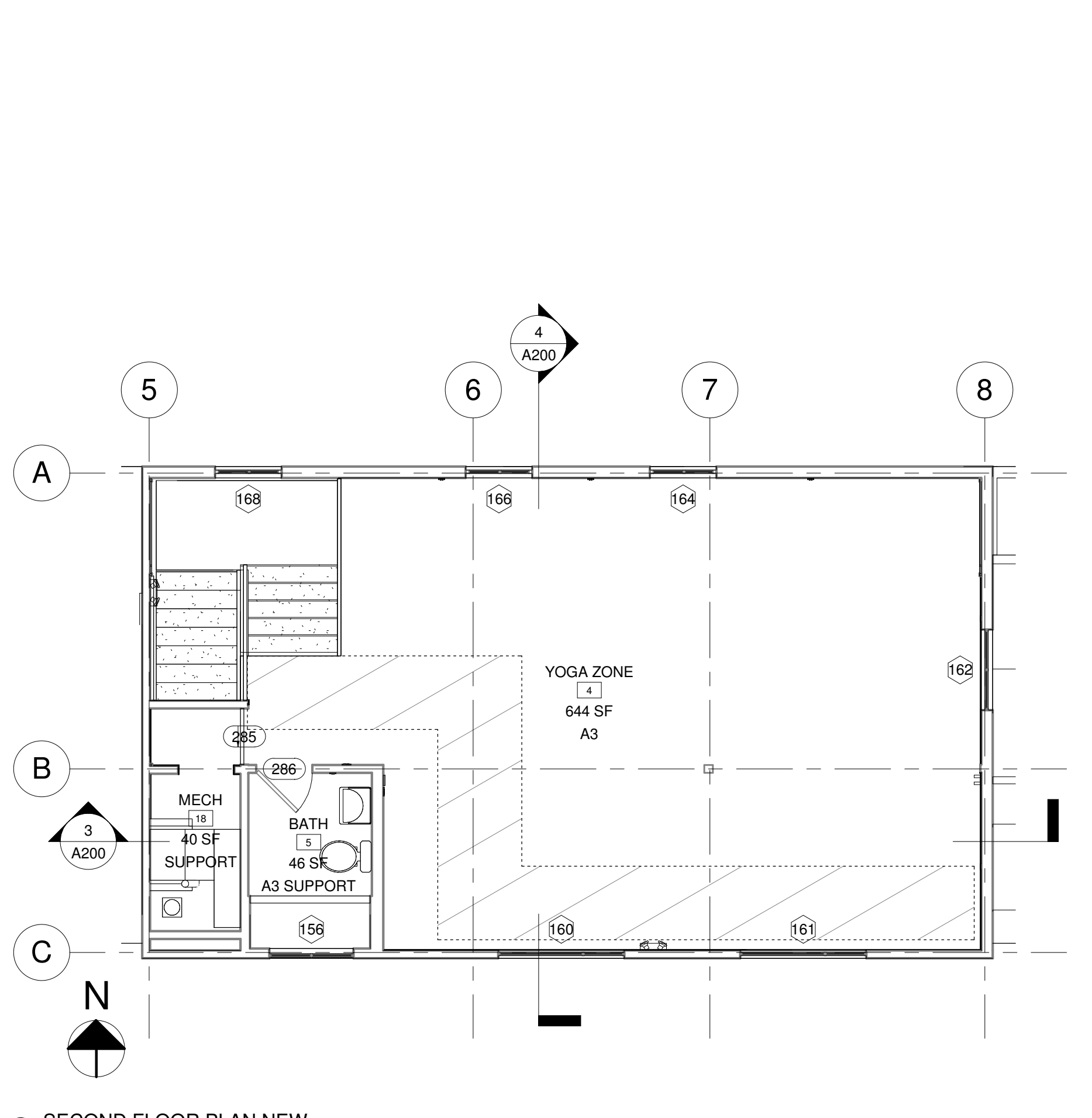
- Interior exit discharge elements in buildings required to have two or more exits.
- The emergency power system shall provide power for duration of not less than 90 min. and shall consist of storage batteries, unit equipment or an on-site generator. (CBC1006.3)

EGRESS NOTES

- Exit signs shall be internally or externally illuminated
- Exit signs illuminated by an external source shall have an intensity of not less than 5 foot candles (54 lux).
- Internally illuminated signs shall be listed and labeled and shall be installed in accordance with the manufacturer's instructions and Section 2702.
- Exit signs shall be illuminated at all times.
- Exit signs shall be connected to an emergency power system that will provide an illumination of not less than 90min. in case of primary power loss. (1013.5-1013.6.3)
- Egress doors shall be readily operable from the egress side without the use of a key or special knowledge or effort. (1010.1.9)
- Door handles, lock and other operating devices shall be installed at a min. 34" and a max. 48" above the finished floor.
- All egress door operation shall also comply with Section 1010.1.9
- The means of egress, including the exit discharge, shall be illuminated at all times the building space served by the means of egress is occupied. The means of egress illumination level shall not be less than 1 foot-candle at the walking surface. (1008.1)
- The power supply for means of egress illumination shall normally be provided by the premises' electrical supply. In the event of power supply failure, an emergency electrical system shall automatically illuminate the following areas (1008.3):
 - Aisles and unenclosed egress stairways in rooms and spaces that require two or more means of egress;
 - Corridors, exit enclosures and exit passageways in buildings required to have two or more exits;
 - Exterior egress components at other than their level of exit discharge until exit discharge is accomplished for buildings required to have two or more exits.
 - Interior exit discharge elements, as permitted in Section 1028.1, in buildings required to have two or more exits.
 - Exterior landings, as required by Section 1010.1.6, for exit discharge doorways in buildings required to have two or more exits.
- The emergency power system shall provide power for a duration of not less than 90 minutes and shall consist of storage batteries, unit equipment or an on-site generator. The installation of the emergency power system shall be in accordance with Section 2702. (1008.3)
- Emergency lighting facilities shall be arranged to provide initial illumination that is at least an average of 1 foot-candle (11 lux) and a minimum at any point of 0.1 foot-candle (1 lux) measured along the path of egress at floor level. Illumination levels shall be permitted to decline to 0.6 foot-candle (6 lux) average and a minimum at any point of 0.06 foot-candle (0.6 lux) at the end of the emergency lighting time duration. A maximum-to-minimum illumination uniformity ratio of 40 to 1 shall not be exceeded. (1008.3)
- The exit signs shall also be connected to an emergency electrical system provided from storage batteries unit equipment or an on-site generator set, and the system shall be installed in accordance with the Electrical Code. For high rise buildings, see section 403.

EGRESS DOOR CLEARANCE

- The minimum latch side clearance on the pull side of the door shall be 18 inches at interior doors and 24 inches at exterior doors. The minimum push side clearance of 12 inches shall be provided at the landing if door is equipped with both a latch and a closer. (CBC 1133B.2.4.2)
- Interior & Exterior doors shall have a maximum opening force of 5 lb. exception: fire doors (CBC 1133B.2.5)



KEYNOTE LEGEND

KN # NOTES APPLY TO ALL RELEVANT INSTANCES IN THE SCOPE OF WORK

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C-35902
7-31-2027
RENEWAL
STATE OF CALIFORNIA

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ENGINEER
N/A

SURVEYOR
N/A

GENERAL CONTRACTOR
LIC#

LEGEND

(E) TO REMAIN

(E) DEMO / TO BE REMOVED (TBR)

(N) CONSTRUCTION

(E) NOT IN CONTRACT (NIC)

NO.	ISSUE	DATE

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PROJECT
420 GRAND

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STAMPS / APPROVALS

SHEET TITLE
FLOOR PLAN NEW

SHEET NUMBER
A103



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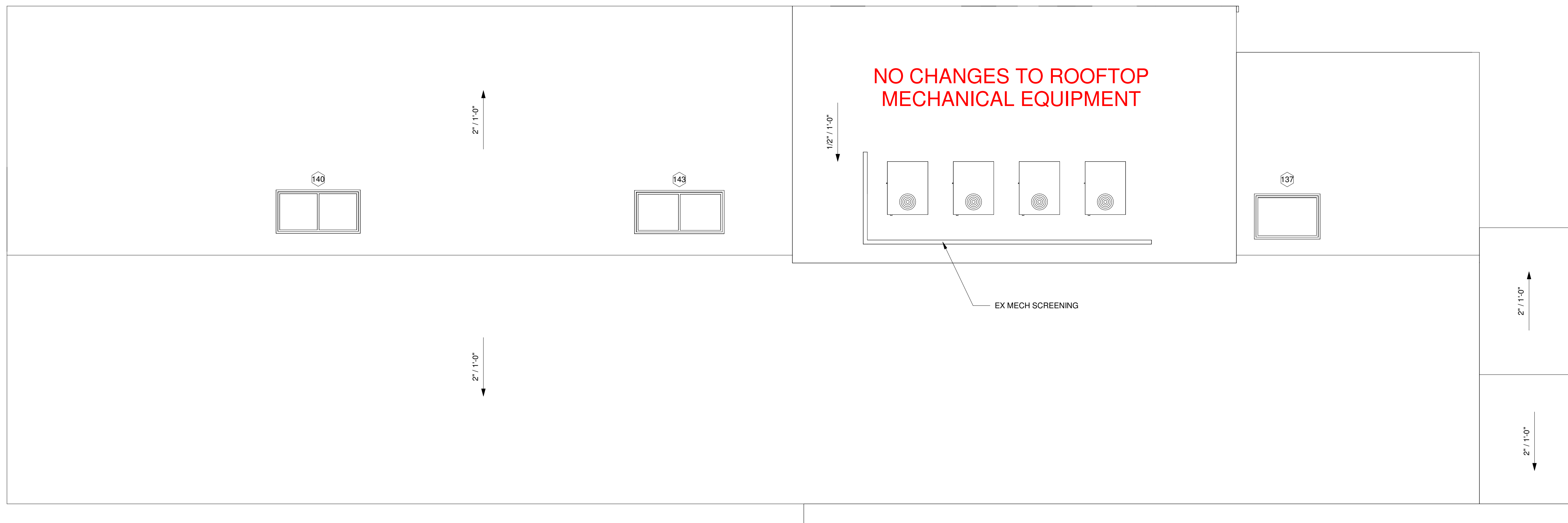
STAMPS / APPROVALS

SHEET TITLE

ROOF PLAN EX

SHEET NUMBER

A104



① ROOF PLAN EX
 3/16" = 1'-0"

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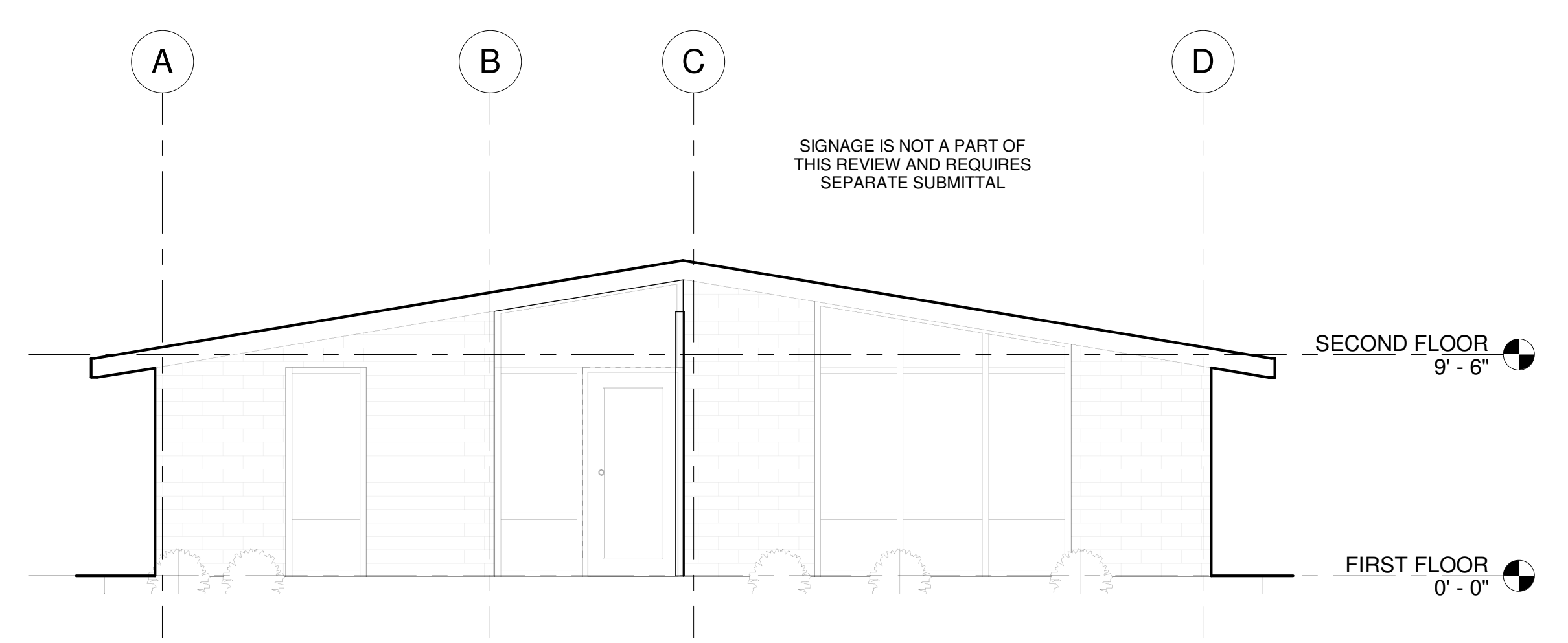
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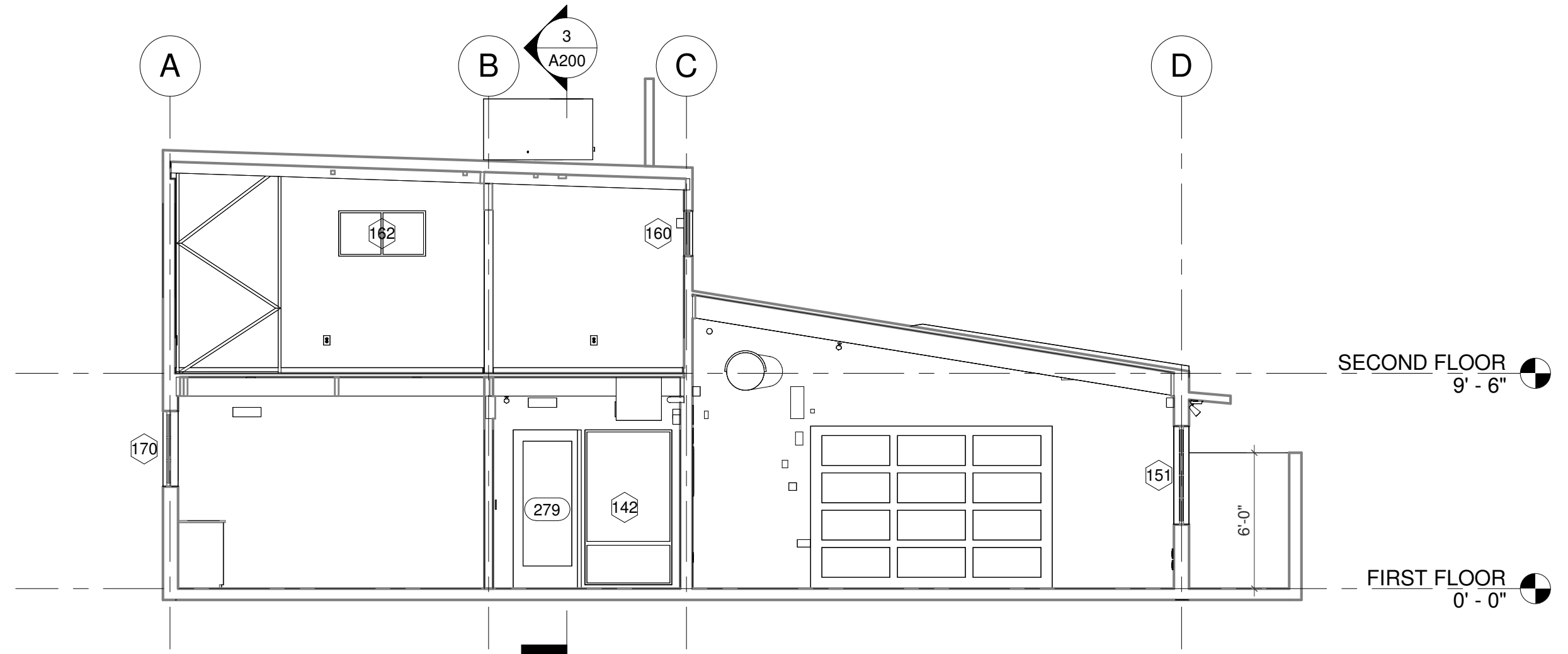
STAMPS / APPROVALS

SHEET TITLE
ELEVATIONS / SECTIONS

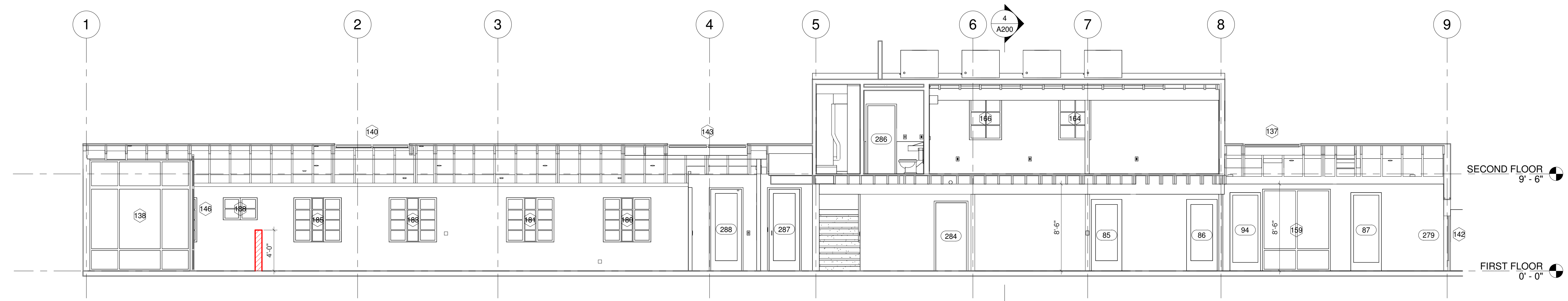
SHEET NUMBER
A200



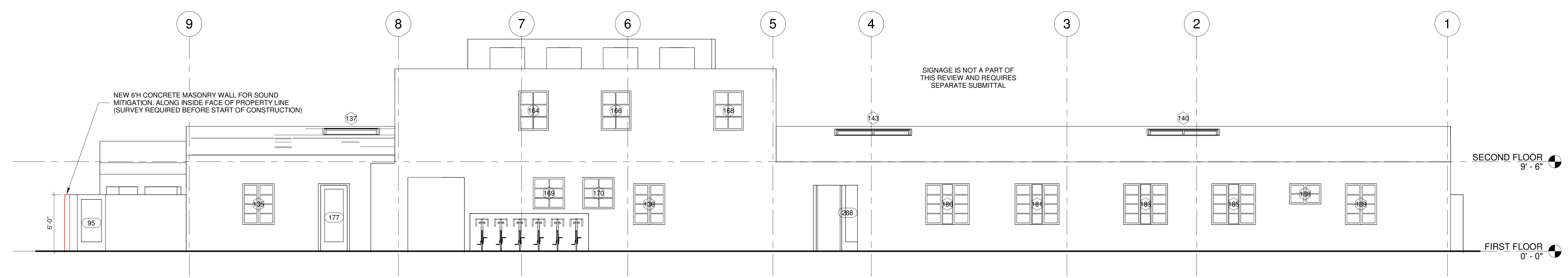
2 WEST ELEV EX NO CHANGE
 3/16" = 1'-0"



4 CROSS SECTION
 3/16" = 1'-0"



3 LONG SECTION
 3/16" = 1'-0"



1 NORTH ELEV EX NO CHANGE
 3/16" = 1'-0"



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STAMPS / APPROVALS

SHEET TITLE

SCHEDULES

SHEET NUMBER

A600

DOOR SCHEDULE

DOOR #	OPERATION	EX OR NEW	TO BE REMOVED DURING	WIDTH	HEIGHT	AREA	ORIENTATION	COMMENTS
294	INT SWING	Existing	New Construction	3'-0"	7'-0"	21 SF		
279	EXT SWING	Existing	None	3'-0"	7'-0"	21 SF		EX EGRESS DOOR, SELF CLOSING WITH PANIC HARDWARE
287	EXT SWING	Existing	None	3'-0"	8'-0"	24 SF		EX EGRESS DOOR, SELF CLOSING WITH PANIC HARDWARE
288	EXT SWING	Existing	None	3'-0"	8'-0"	24 SF		EX EGRESS DOOR, SELF CLOSING WITH PANIC HARDWARE
281	EXT SWING	Existing	None	3'-0"	8'-0"	24 SF		EX EGRESS DOOR, SELF CLOSING WITH PANIC HARDWARE
292	EXT SWING	Existing	None	3'-4"	7'-0"	23 SF		EX EGRESS DOOR, SELF CLOSING WITH PANIC HARDWARE
95	EXT SWING	Existing	None	3'-0"	6'-8"	18 SF		EX EGRESS DOOR, SELF CLOSING WITH PANIC HARDWARE
282	INT SWING	Existing	None	3'-0"	6'-8"	20 SF		
284	INT SWING	Existing	None	3'-0"	6'-8"	20 SF		
285	INT SWING	Existing	None	2'-8"	6'-8"	18 SF		
286	INT SWING	Existing	None	2'-8"	6'-8"	18 SF		
290	INT SWING	Existing	None	2'-8"	4'-10"	13 SF		
177	INT SWING	Existing	None	2'-10"	7'-0"	20 SF		
293	INT SWING	Existing	None	3'-0"	8'-0"	24 SF		
295	INT SWING	Existing	None	3'-0"	8'-0"	24 SF		
85	INT SWING	Existing	None	3'-0"	7'-0"	21 SF		
86	INT SWING	Existing	None	3'-0"	7'-0"	21 SF		
87	INT SWING	Existing	None	3'-0"	7'-8"	23 SF		
94	INT SWING	Existing	None	3'-0"	7'-8"	23 SF		
97	INT SWING	Existing	None	3'-0"	7'-0"	21 SF		
99	INT SWING	Existing	None	3'-0"	7'-0"	21 SF		
283	ROLL UP	Existing	None	10'-8"	7'-2"	76 SF		
90	INT SWING	New Construction	None	3'-0"	7'-0"	21 SF		
98	INT SWING	New Construction	None	3'-0"	7'-0"	21 SF		

WINDOW SCHEDULE

WDW #	OPERATION	EX OR NEW	REMOVED DURING	ROUGH OPENING		AREA	HEAD HEIGHT	SILL HEIGHT	COMMENTS
				WIDTH	HEIGHT				
135	CASEMENT	Existing	None	3'-4"	4'-4"	14 SF	7'-2"	2'-10"	
136	CASEMENT	Existing	None	3'-4"	4'-4"	14 SF	7'-2"	2'-10"	
141	CASEMENT	Existing	None	3'-4"	4'-4"	14 SF	7'-2"	2'-10"	
142	CASEMENT	Existing	None	3'-10"	6'-10"	26 SF	7'-0"	0'-2"	
144	CASEMENT	Existing	None	9'-4"	4'-4"	40 SF	7'-2"	2'-10"	
149	CASEMENT	Existing	None	9'-4"	4'-4"	40 SF	7'-2"	2'-10"	
150	CASEMENT	Existing	None	9'-4"	4'-4"	40 SF	7'-2"	2'-10"	
151	CASEMENT	Existing	None	9'-4"	4'-4"	40 SF	7'-2"	2'-10"	
156	CASEMENT	Existing	None	4'-0"	2'-0"	8 SF	7'-2"	5'-2"	
160	CASEMENT	Existing	None	6'-0"	2'-0"	12 SF	7'-2"	5'-2"	
161	CASEMENT	Existing	None	6'-0"	2'-0"	12 SF	7'-2"	5'-2"	
162	CASEMENT	Existing	None	3'-10"	2'-0"	8 SF	7'-2"	5'-2"	
164	CASEMENT	Existing	None	3'-2"	4'-2"	13 SF	7'-6"	3'-4"	
166	CASEMENT	Existing	None	3'-2"	4'-2"	13 SF	7'-6"	3'-4"	
168	CASEMENT	Existing	None	3'-2"	4'-2"	13 SF	7'-6"	3'-4"	
169	CASEMENT	Existing	None	3'-4"	3'-4"	11 SF	7'-10"	4'-6"	
170	CASEMENT	Existing	None	3'-4"	3'-4"	11 SF	7'-10"	4'-6"	
178	CASEMENT	Existing	None	6'-8"	4'-4"	29 SF	7'-2"	2'-10"	
179	CASEMENT	Existing	None	6'-8"	4'-4"	29 SF	7'-2"	2'-10"	
180	CASEMENT	Existing	None	4'-8"	4'-4"	20 SF	7'-2"	2'-10"	
181	CASEMENT	Existing	None	4'-8"	4'-4"	20 SF	7'-2"	2'-10"	
183	CASEMENT	Existing	None	4'-8"	4'-4"	20 SF	7'-2"	2'-10"	
185	CASEMENT	Existing	None	4'-8"	4'-4"	20 SF	7'-2"	2'-10"	
188	CASEMENT	Existing	None	3'-4"	2'-2"	7 SF	7'-2"	5'-0"	
189	CASEMENT	Existing	None	3'-4"	4'-4"	14 SF	7'-2"	2'-10"	
134	CASEMENT	Existing	None	3'-2"	10'-0"	32 SF	10'-0"	0'-0"	
138	CASEMENT	Existing	None	9'-10"	10'-10"	107 SF	10'-10"	0'-0"	
146	CASEMENT	Existing	None	7'-8"	12'-2"	93 SF	12'-2"	0'-0"	
152	CASEMENT	Existing	None	10'-0"	11'-4"	113 SF	11'-4"	0'-0"	
154	CASEMENT	Existing	None	3'-4"	4'-4"	14 SF	7'-2"	2'-10"	
155	CASEMENT	Existing	None	9'-4"	4'-4"	40 SF	7'-2"	2'-10"	
157	CASEMENT	Existing	None	9'-4"	4'-4"	40 SF	7'-2"	2'-10"	
153	CASEMENT	Existing	None	1'-0"	6'-10"	7 SF	7'-0"	0'-2"	
159	FIXED	Existing	None	6'-8"	8'-0"	53 SF	8'-0"	0'-0"	
137	SKYLIGHT	Existing	None	0'-0"	5'-0"	0 SF			
140	SKYLIGHT	Existing	None	7'-4"	3'-8"	27 SF			
143	SKYLIGHT	Existing	None	7'-10"	3'-8"	29 SF			

OCCUPANCY LOAD CALCS

ROOM NAME	ROOM NUMBER	OCCUPANCY	AREA	LOAD FACTOR	OCC LOAD	OCC LOAD ROUND UP	SINGLE CORRIDOR MIN WIDTH	SINGLE STAIR MIN WIDTH	COMMENTS
CARDIO ZONE & CLASSES	21	A3	869 SF	50 SF	17.39	18	3.6	5.4	
CARDIO ZONE (QUIET)	11	A3	1057 SF	50 SF	21.14	22	4.4	6.6	
FITNESS ROOM #2	23	A3	Not Placed	50 SF					
FITNESS ROOM #3	24	A3	Not Placed	50 SF					
SAUNA	27	A3	130 SF						
STRENGTH ZONE	1	A3	821 SF	50 SF	16.42	17	3.4	5.1	
WELLNESS CLASSROOM 2	3	A3	Not Placed	50 SF					
YOGA ZONE	4	A3	644 SF	50 SF	12.88	13	2.6	3.9	
BATH	5	A3 SUPPORT	46 SF	50 SF	0.91	1	0.2	0.3	
HALL	6	A3 SUPPORT	131 SF	50 SF	2.62	3	0.6	0.9	
LOCKER ROOM	7	A3 SUPPORT	207 SF	50 SF	4.14	5	1	1.5	
RECEPTION	20	A3 SUPPORT	363 SF	50 SF	7.26	8	1.6	2.4	
RESTROOM 1[E] ACCESSIBLE (REF# BRMD191082)	8	A3 SUPPORT	93 SF	50 SF	1.85	2	0.4	0.6	
RESTROOM 2[E] ACCESSIBLE (REF# BRMD191082)	9	A3 SUPPORT	99 SF	50 SF	1.98	2	0.4	0.6	
RESTROOM 3[E] ACCESSIBLE (REF# BRMD191082)	10	A3 SUPPORT	88 SF	50 SF	1.77	2	0.4	0.6	
SIDE ENTRY HALL	26	A3 SUPPORT	126 SF	50 SF	2.51	3	0.6	0.9	
EMPLOYEE OFFICE 1	12	B	81 SF	100 SF	0.81	1	0.2	0.3	
EMPLOYEE OFFICE 2	13	B	99 SF	100 SF	0.99	1	0.2	0.3	
EMPLOYEE OFFICE 3	14	B	99 SF	100 SF	0.99	1	0.2	0.3	
BREAK ROOM / STORAGE	15	B SUPPORT	236 SF	100 SF	2.36	3	0.6	0.9	
HALL	16	B SUPPORT	565 SF	100 SF	5.65	6	1.2	1.8	
HALL	22	B SUPPORT	Not Placed	100 SF					
HALL	25	B SUPPORT	199 SF	100 SF	1.99	2	0.4	0.6	
RESTROOM 4[E] ACCESSIBLE (REF# BRMD191082)	17	B SUPPORT	64 SF	100 SF	0.64	1	0.2	0.3	
MECH	18	SUPPORT	40 SF						
MECH	19	SUPPORT	41 SF						
Grand total: 26			6098 SF			111	22.2	33.3	



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 LIC#

LEGEND

- (E) TO REMAIN
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STAMPS / APPROVALS

SHEET TITLE

EX SITE IMAGES

SHEET NUMBER

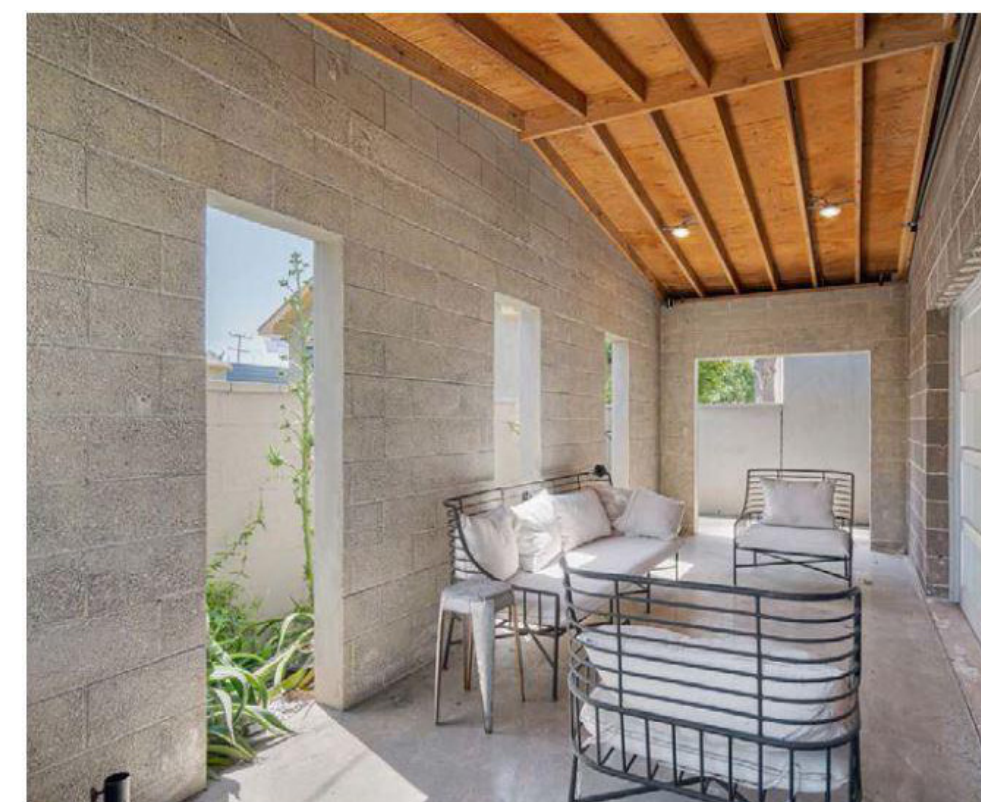
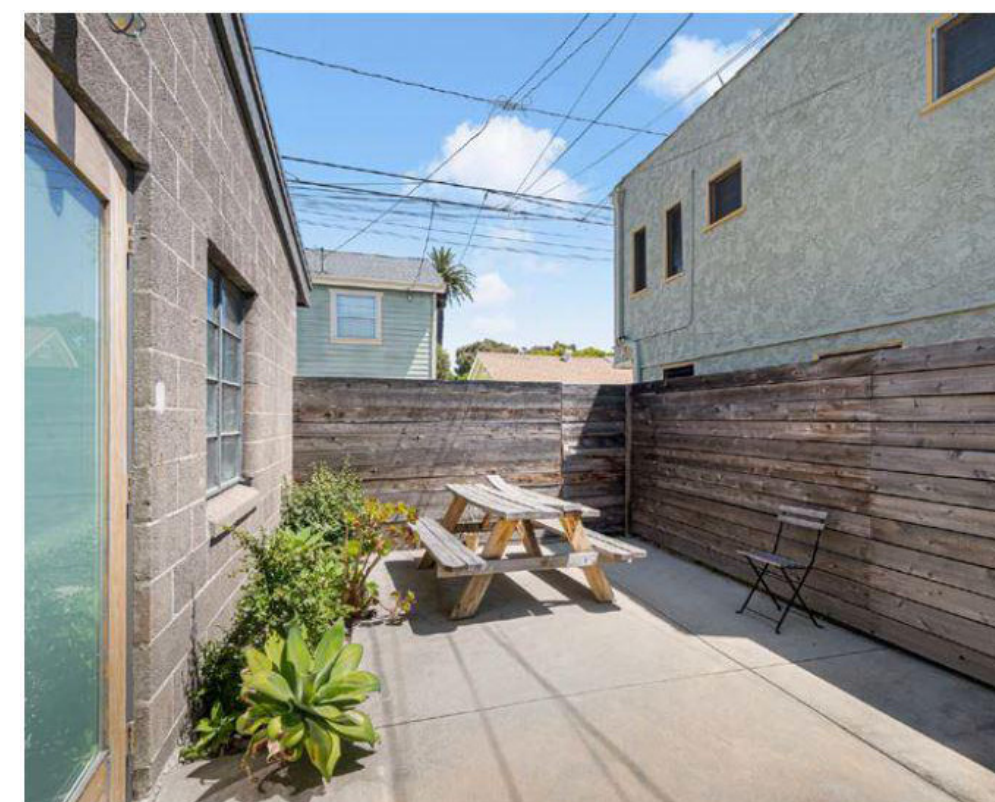
A800



FRONT VIEW



FRONT VIEW FROM NORTH



BACK PATIO



ROOF AERIAL